

# Eng Family Homestead Renovation

611 8TH AVE SOUTH, SEATTLE WA 98104

BUILDING PERMIT# 6950431-CN ISRD RECORD #: DONH-COA-01135

2/1/2024 ISRD CERTIFICATE OF APPROVAL APPLICATION DRAWING SET

2/23/2024 CORRECTED SET



### SHEET INDEX

URVEY 0.00	GENERAL INFORMATION
ANDSCAPE 1.10 2.10	E LANDSCAPE PLAN PLANTING PLAN
RCHITECT 0.10 1.00 D2.00 2.00 2.10 2.20 3.00 3.01 3.10 7.00 8.00	URAL WINDOW & DOOR SCHEDULE, ASSEMBLIES SITE PLAN & PROJECT INFO DEMO PLAN BASEMENT & GARAGE PLAN MAIN LEVEL PLAN ROOF PLAN EXTERIOR ELEVATIONS - SOUTH AND EAST EXTERIOR ELEVATIONS - NORTH AND WEST BUILDING SECTIONS VERTICAL CIRCULATION EXTERIOR DETAILS
TRUCTURA 1.00 2.00 2.01 2.02 3.00 3.01 3.02	GENERAL STRUCTURAL NOTES FOUNDATION PLAN LOWER ROOF / FLOOR FRAMING UPPER ROOF FRAMING PLAN TYPICAL CONCRETE DETAILS TYPICAL FRAMING DETAILS STRUCTURAL FRAMING DETAILS
1.00 2.00 2.10	- LEGEND BASEMENT & GARAGE PLAN - ELECTRICAL MAIN LEVEL PLAN - ELECTRICAL

ELECTRICAL FIXTURES

### **PROJECT DIRECTORY**

#### <u>OWNER</u> WINGLIKE

WING LUKE MUSEUM OF THE ASIAN PACIFIC AMERICAN EXPERIENCE PO BOX 3025, SEATTLE, WA 98114 CONTACT: CASSIE CHINN DEPUTY EXECUTIVE DIRECTOR 206.623.5124 X131 CCHINN@WINGLUKE.ORG

### ARCHITECT

SKL ARCHITECTS 1501 E MADISON, SUITE 205 SEATTLE, WA 98122 T: (206) 322-1130 PRINCIPAL ARCHITECT: JOHN KENNEDY JOHN@SKLARCHITECTS.COM CONTACT: NICOLE LEW NICOLE@SKLARCHITECTS.COM

### STRUCTURAL ENGINEER ROICH STRUCTURAL PLLC P.O. BOX 28809 SEATTLE, WA 98118 T: (206) 745-2967 CONTACT: ROI CHANG ROI@ROICHSTRUCTURAL.COM

ELECTRICAL ENGINEER TFWB ENGINEERS INC. 1200 WESTLAKE AVE N, #509 SEATTLE, WA 98109 T: (206) 285-7228 PRINCIPAL: MIKE FITZMAURICE MIKE@TF-WB.COM CONTACT: PAUL MCINTOSH PAUL@TF-WB.COM

LANDSCAPE ARCHITECT MURASE ASSOCIATES 4238 4TH AVE NE SEATTLE, WA 98105 SCOTT MURASE SMURASE@MURASE.COM MARK TILBE MTILBE@MURASE.COM DEBBIE RAMOS DRAMOS@MURASE.COM

HISTORIC STRUCTURES BOLA ARCHITECTURE + PLANNING 122 NW 58TH STREET SEATTLE, WA 98107-2027 PRINCIPAL: SUSAN D. BOYLE (206) 383-2649 SBOYLE@BOLARCH.COM

# SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON ST SUITE 205 SEATTLE, WA 98122

206.322.1130

SKLARCHITECTS.COM

### **ABBREVIATIONS**

0 2 2 2 5 4	AT CENTERLINE PROPERTY LINE DIAMETER POUND OR NUMBER
ABV	EXISISTING NEW ANCHOR BOLT ABOVE
ACC ACOUS ACP ACS ACT AD ADA	ACCESS ACOUSTICAL ASPHALT CONCRETE PAVING ACCESS PANEL ACOUSTICAL TILE AREA DRAIN AMERICANS with DISABILITIES ACT
AIB ALT ALUM	ADJUSTABLE ABOVE FINISHED FLOOR AGGREGATE AIR INFILTRATION BARRIER ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL
AKCH ASPH AUTO BD	ARCHITECTORAL ASPHALT AUTOMATIC BOARD
Bitum Bldg Blkg Bm Bo Bo Brg Bsrg Bsrg Bur	BITUMINOUS BUILDING BLOCKING BEAM BOTTOM OF BOTTOM BEARING BASEMENT BUILT UP ROOFING
CAB CB CEM CER CIP CJ	CABINET CATCH BASIN CEMENT CERAMIC CAST-IN-PLACE CONTROL JOINT
CLG CLK CLO CLR CMU CNTR	CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT COUNTER
COL CONC CONN CONST CONT CONTR CORR CORR CPT CRS CSK	COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CORRIDOR CARPET; CARPETED COLD ROLLED STEEL COUNTERSUNK
CT CTR CU FT	CERAMIC TILE CENTER CUBIC FEET
DBL Demo Det DIA DIM DL DN DR DR OPNG DS DSP DT DW DWG	DOUBLE DEMOLITION DETAIL DIAMETER DIMENSION DEAD LOAD DOWN DOOR DOOR OPENING DOWNSPOUT DRY STANDPIPE DRAIN TILE DISHWASHER DRAWING
E EA EJ ELEC ELEV ENCL EQUIP EST EW EXH FN EXIST EXP BT	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT ESTIMATE EACH WAY EXHAUST FAN EXISTING EXPANDED; EXPANSION EXPANSION BOLT
EXPO EXT FA FB FD FE FEC	EXPOSED EXTERIOR FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET
FF EL FH FHC FIN FLR FF FIN FLASH	FINISH FLOOR ELEVATION FIRE HYDRANT FIRE HOSE CABINET FINISH FLOOR FINISH TO FINISH FINISH FLASHING
FLR FLUOR FOC FOF FOIC FOM FOS	FLOOR; FLOORING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FURNISHED BY OWNER - INSTALLED BY CONTRACTOR FACE OF MASONRY FACE OF STUDS
=P =PL =R =TG =TG =URR =URR =UT =W	FIREPROOF FIREPLACE FRAME FOOR OR FEET FOOTING FURRING FUTURE FULL WIDTH
GA GALV GC GL GLAM GR GWB GYP	GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GLUE-LAMINATED GRADE GYPSUM WALL BOARD GYPSUM

HB HC HDO HDR HDWD HM HORIZ HP HR HT HVAC HW HWT ID IN INCL INSUL INSUL INT INV	HOSE BIBB HOLLOW CORE HIGH DENSITY OVERLAY HEADER HARDWOOD HARDWARE HOLLOW METAL HORIZONTAL HIGH POINT HOUR HEIGHT HEATING/VENTILATING/AIR CONDITIONING HOT WATER HOT WATER TANK INSIDE DIAMETER INCH INCLUDED INSULATION INTERIOR INVERT
JB	JUNCTION BOX
JF	JOINT FILLER
JT	JOINT
KIT	KITCHEN
KO	KNOCKOUT
LAM	LAMINATE, LAMINATED
LAV	LAVATORY
LBS	POUNDS
LF	LINEAR FOOT (FEET)
LH	LEFT HAND
LU	LIVE LOAD
LOC	LOCATION
LP	LOW POINT
LT	LIGHT
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MDF	MEDIUM DENSITY FIBERBOARD
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
MUL	MULLION
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NR	NOISE REDUCTION
NTS	NOT TO SCALE
OA OC OD OFF OH OHWM OPNG OPP OSB	OVERALL ON CENTER OUTSIDE DIAMETER OVERFLOW DRAIN OFFICE OVERHEAD ORDINARY HIGH WATER MARK OPENING OPPOSITE ORIENTED STRAND BOARD
PBD PCC PCF PERF PL PLAM PLAS PLWD PNL PNL PNT PR PSF PSI PT PTN PVC	PARTICLE BOARD PRECAST CONCRETE POUNDS PER CUBIC FOOT PERFORATED PERPENDICULAR PLATE PLASTIC LAMINATE PLASTER PLYWOOD PANEL POINT PAIR PRECAST POUNDS PER CUBIC FOOT POUNDS PER SQUARE INCH PRESERVATIVE TREATED PARTITION POLYVINYL CHLORIDE
R RA RD REF REFR REG REINF REM REQ RESIL REV RH RM RO RWL	RISER RETURN AIR RADIUS ROOF DRAIN REFERENCE REFRIGERATOR REGISTER REINFORCED REMAINDER REQUIRED RESILIENT REVISION; REVISIONS; REVISED RIGHT HAND ROOM ROUGH OPENING RAIN WATER LEADER
S SAF SAM SC SCHED SD SECT SG SHV SHR SHT SHT SHT SHT SHT SHT SUM SOG SPEC SQ FT SQ IN SST STD STL STOR STL STOR STL STOR STRUCT SUSP SYM	SOUTH SELF-ADHERED FLASHING SELF-ADHERED MEMBRANE SOLID CORE SCHEDULE SMOKE DETECTOR SECTION SAFETY GLASS SHELF; SHELVING SHOWER SHEET SHEET METAL SHEATHING SIMILAR SLAB ON GRADE SPECIFICATION SQUARE FOOT (FEET) SQUARE INCH(ES) STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL

T&G

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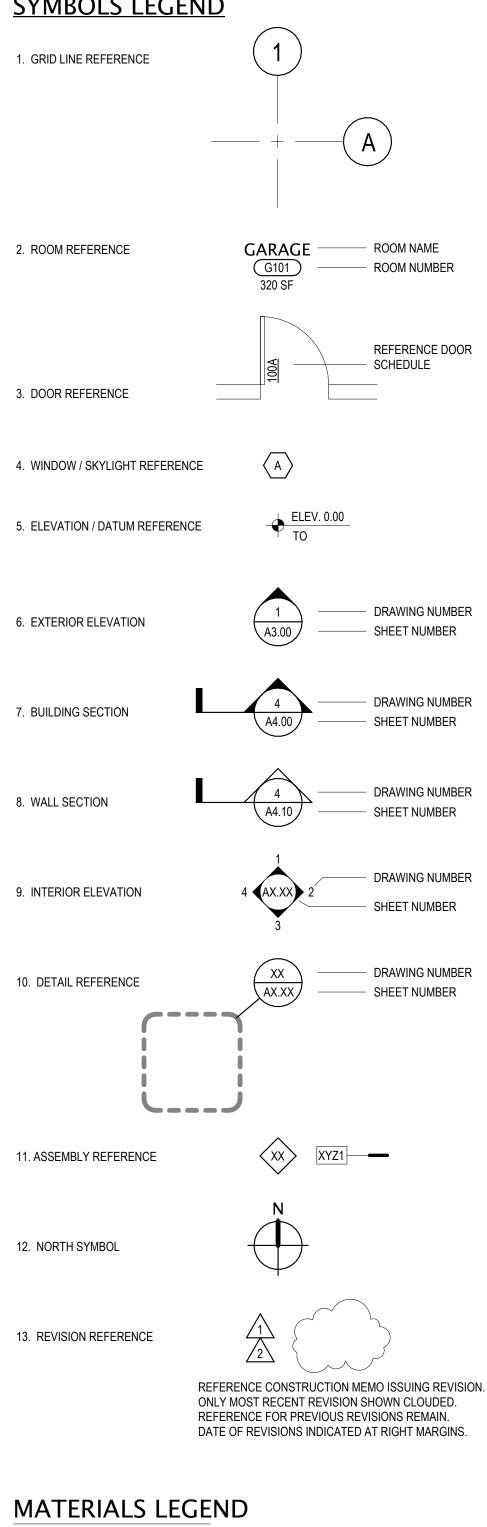
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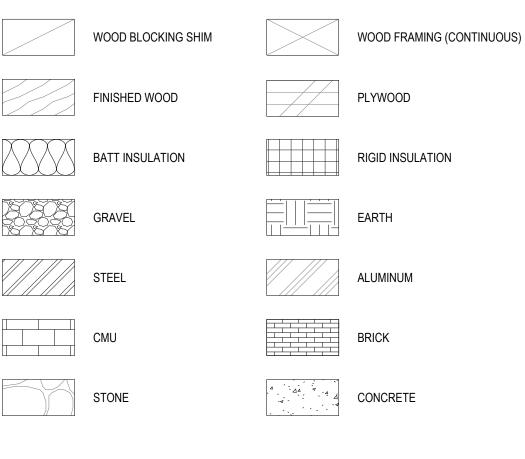
ΤS

THK

TREAD TONGUE AND GROOVE TELEPHONE TERRAZZO TEMPERED GLASS THICK TOP OF TOP OF BEAM TOP OF CONCRETE; CURB TOP OF FLOOR; FOOTING; FRAME TOP OF FLOOR; FOOTING; FRAME TOP OF MASONRY TOP OF PARAPET; PAVEMENT TOPOGRAPHY TOP OF SLAB; STEEL TOP OF WALL TUBE STEEL THERMOSTAT TYPICAL
UNLESS OTHERWISE NOTED
VINYL BASE VENEER VERTICAL VESTIBULE VERTICAL GRAIN VERIFY IN FIELD VINYLT TILE
WEST WITH WITHOUT WATER CLOSET WOOD WINDOW WIDE FLANGE WIDE FLANGE BEAM WIRED GLASS WATER HEATER WATER LINE WELDED WATERPROOF WATERPROOF WATERPROOF WATER RESISTANT WAINSCOT WIRE SAFETY GLASS WATER WELDED WIRE FABRIC WELDED WIRE MESH WEIGHT

## SYMBOLS LEGEND





ZONING / BUILDING CODE SUMMARY

#### PROJECT ADDRESS 611 8TH AVE SOUTH SEATTLE, WA 98104

<u>OWNER</u> WING LUKE MUSEUM OF THE PACIFIC AMERICAN EXPERIENCE

ASSESSOR'S PARCEL NUMBER 524780-2655

LEGAL DESCRIPTION (PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO. 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.)

THE NORTH 5 FEET OF LOT 6; LOT 7, EXCEPT THE NORTH 28 FEET OF THE EAST 76 FEET; AND THE WEST 44 FEET OF LOT 8, ALL IN BLOCK 53, TOWN OF SEATTLE, AS LAID OUT BY D.S.MAYNARD (COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF SEATTLE), ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 23, RECORDS OF KING COUNTY, WASHINGTON.

**GROSS FLOOR AREA** MAIN LEVEL: 920 SQ FT BASEMENT LEVEL: 810 SQ FT NEW FLOOR AREA: 120 SQ FT TOTAL FLOOR AREA: 1,850 SQ FT

ASSOCIATED PROJECT NO. 3040417-LU, 3040418-LU, 3040419-LU (CONCURRENT SHORT PLAT APPLICATION)

APPLICABLE CODES LAND USE CODE, SMC TITLE 23 2018 SEATTLE BUILDING CODE 2018 SEATTLE EXISTING BUILDING CODE 2018 SEATTLE ENERGY CODE 2018 SEATTLE MECHANICAL CODE 2018 SEATTLE FIRE CODE 2020 SEATTLE ELECTRICAL CODE 2018 SEATTLE PLUMBING CODE

AUTHORITY HAVING JURISDICTION SEATTLE DEPARTMENT OF CONSTRUCTION & INSPECTIONS (SDCI) <u>LOT SIZE</u> 8,311 S.F.

LAND USE DESIGNATION INTERNATIONAL DISTRICT MIXED IDM 85/85-170

HISTORIC DISTRICT INTERNATIONAL SPECIAL REVIEW DISTRICT RETAIL CORE, ASIAN DESIGN CHARACTER DISTRICT

CURRENT USE R-3 SINGLE FAMILY HOUSE WITH BASEMENT

PROPOSED USE B OCCUPANCY - HOUSE FOR DOCENT-LED IMMERSION TOURS. USE FOR OCCUPANT LOAD FACTOR IS EXHIBIT GALLERY / MUSEUM (REFER TO PRE-SUBMITTAL CONFERENCE NOTES)

### ENERGY CODE SUMMARY

NOTE: MECHANICAL AND ELECTRICAL TO BE IN SEPARATE PERMIT. EXISTING GAS FURNACE TO BE REPLACED WITH ELECTRIC SPLIT SYSTEM HEAT PUMP. COOLING COMPONENT IS ALLOWED UNDER C503.2 EXCEPTION #3 AS PROJECT IS LESS THAN 2,000 SQ FT SERVED. PROJECT IS 1,830 GROSS SQ FT.

PROJECT IS NOT A SUBSTANTIAL ALTERATION AS DETERMINED WITH SDCI. SEE APPROVED PRE-SUBMITTAL CONFERENCE NOTES.

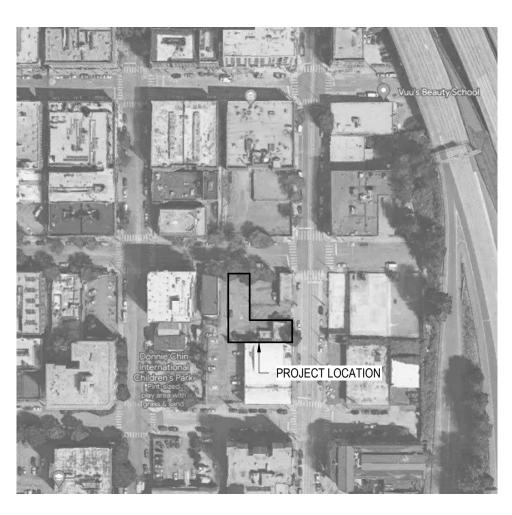
NEW PORTIONS OF PROJECT WILL MEET CURRENT ENERGY CODE AS FOLLOWS

VERTICAL GLAZING: FIXED U-FACTOR U-0.34 OPERABLE U-FACTOR U-0.36 GLAZED ENTRANCE DOOR U-FACTOR: U-0.60 OPAQUE DOOR: U-0.37

ROOF: R-38 INSULATION ENTIRELY ABOVE DECK WALL ABOVE GRADE: R-13 + R-7.5 CI WALL BELOW GRADE: R-19 WOOD STUD WALL EXT. BELOW GRADE: R-10 CI SLAB ON GRADE: R-10 PERIMETER & UNDER ENTIRE SLAB

WHERE EXISTING FRAMING REMAINS AND THE FRAMING CAVITY IS EXPOSED DURING CONSTRUCTION, FILL CAVITY WITH INSULATION.





## <u>GENERAL NOTES</u>

1.	CODES: ALL WO CODES AS AME
2.	DO NOT SCALE ONLY. NOTIFY
3.	CONTRACTOR S
4.	VERIFY ALL ROI BLOCKING, BAC
5.	DIMENSIONS AF
6.	EXTERIOR WAL
7.	INTERIOR WALL

VORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING IENDED BY AUTHORITIES HAVING JURISDICTION.

DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.

R SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. ARCHITECT OF ANY DISCREPANCIES.

DUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, ACKING, AND JACKS REQUIRED FOR INSTALLATIONS. ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS

NOTED. ALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.

INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

### PROJECT DESCRIPTION

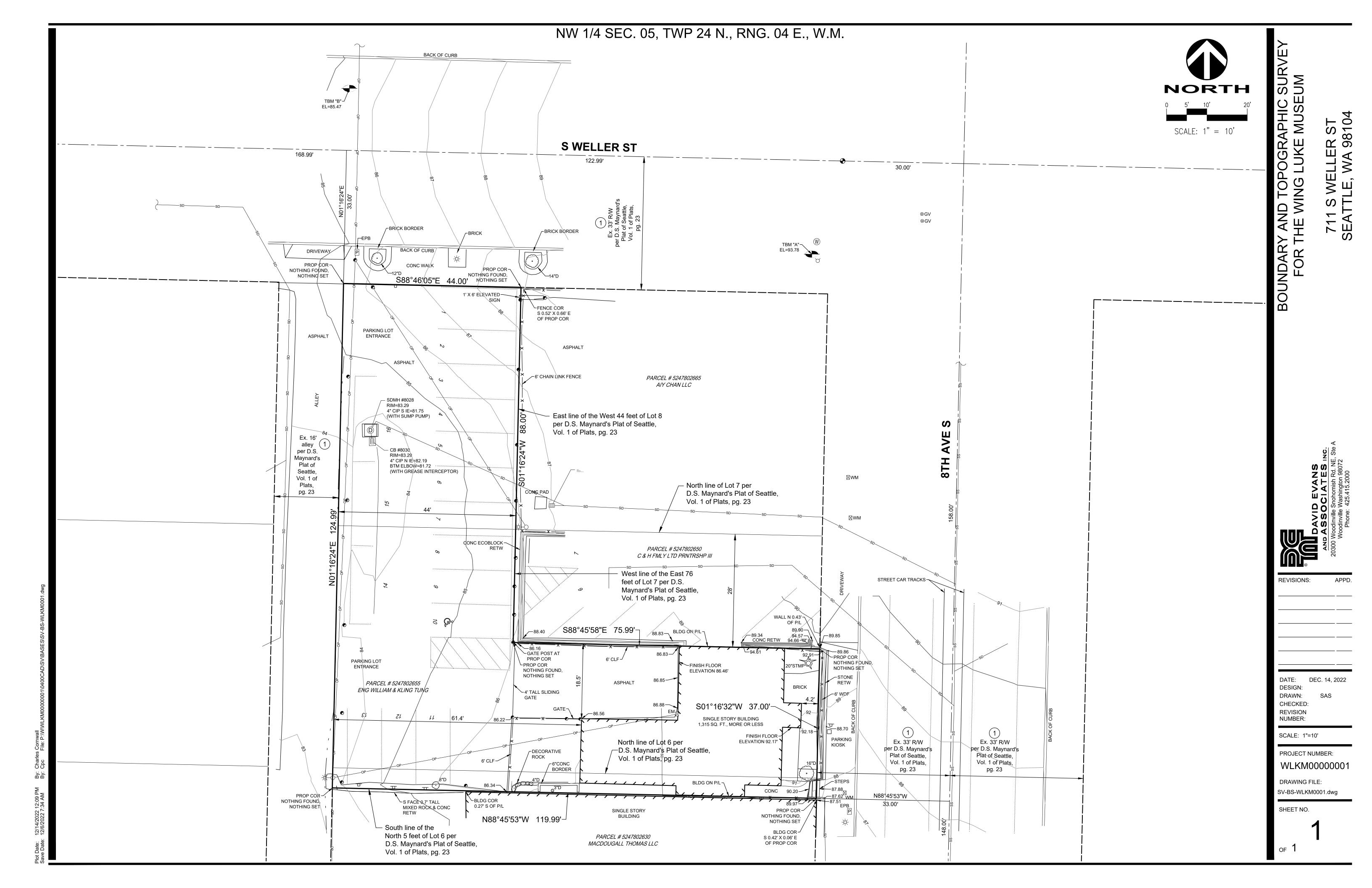
THE ENG FAMILY HOMESTEAD PROJECT IS A RENOVATION OF THE INTERIOR AND EXTERIOR OF THE EXISTING SINGLE FAMILY HOUSE ON THE PROPERTY, WITH A 160 SQUARE FOOT SECOND STORY ADDITION FOR ADA ACCESS. CHANGE OF USE FROM R-3 TO B (MUSEUM – HOME USED FOR HISTORIC IMMERSION TOURS).

# SUNDBERG **KENNEDY** LY-AU YOUNG ARCHITECTS

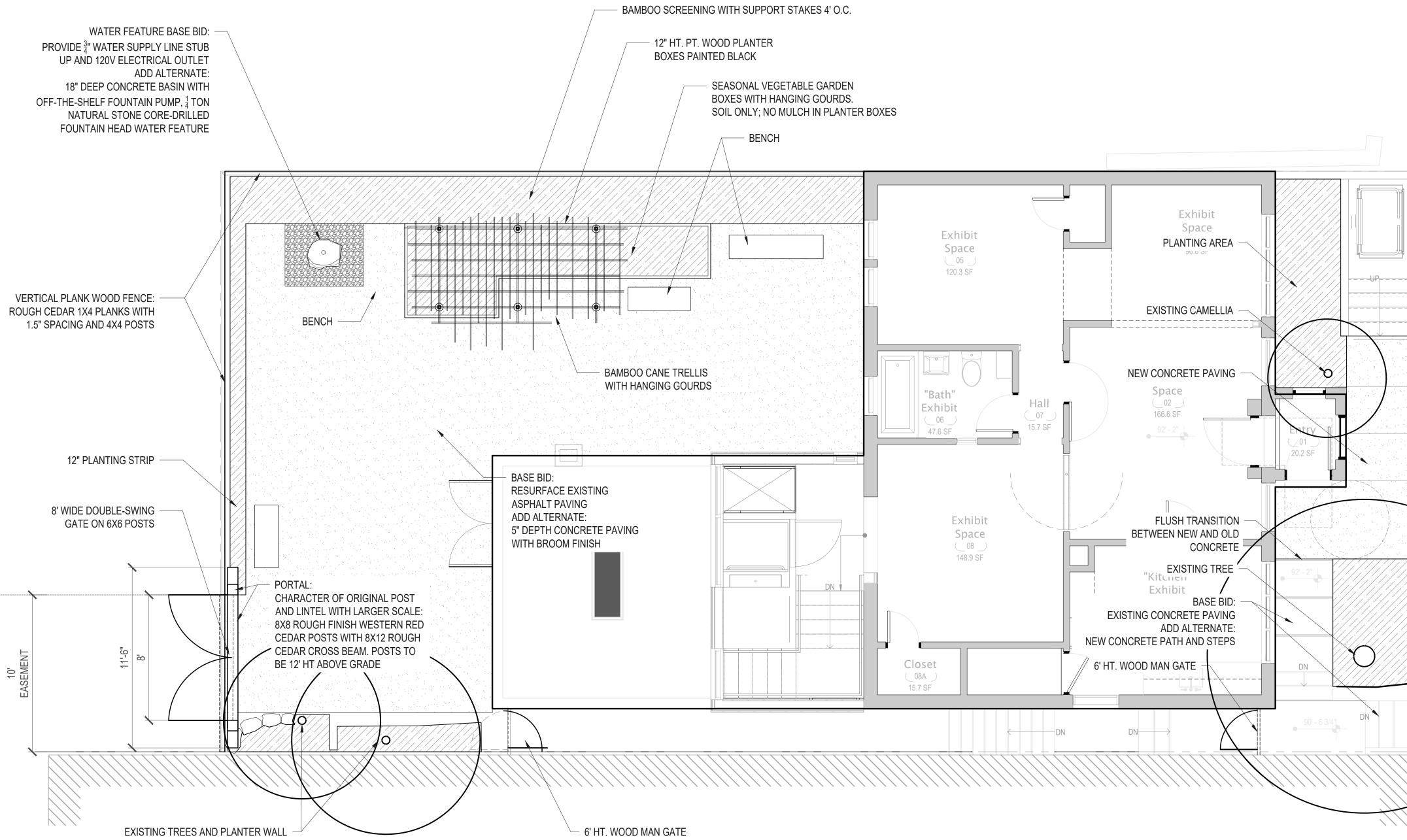
1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



GENERAL INFORMA	ATION		Eng Family Home		stead Renovation e, WA 98104	Official Stamps:	
			REVISIONS				
	Project number	22013	NO. DESCRIPTION	DATE			
	Date	2/23/2024					
	Project Manager	JK/ NL			ISRD CERTIFICATE OF		
	Drawn by	NL			APPROVAL		
Scale 11-0"	Checked by	Checker			2/23/2024		



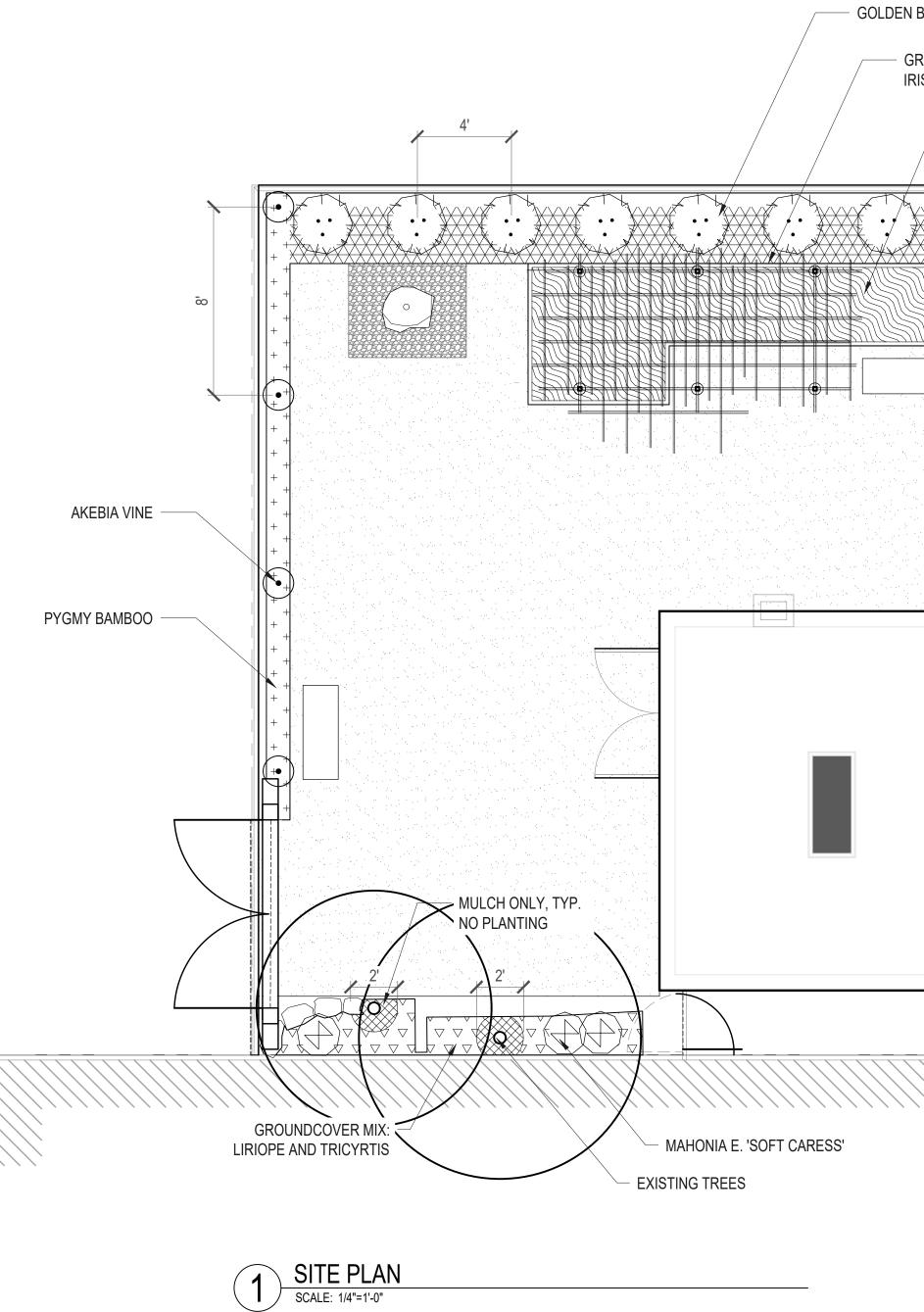




	SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS	
	1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130	5
	WURASE ASSOCIATE         LANDSCAPE ARCHITECTURE         4238 4th Ave NE, Seattle, WA 98105         1206 322 4937         www.murase.com	S
	Official Stamps:	_
42" HT. WROUGHT IRON RAILING TO BE CUSTOM FABRICATED TO MATCH EXISTING RAILING ON SITE AND ATTACHED TO NEW WALL WITH ANCHOR PLATES AND SS BOLTS, POSTS TO BE EMBEDDED IN CONCRETE WHERE NEW WALL ENDS	NOL	
NEW CONCRETE FOOTINGS FOR RAILING. 8"X8"X18"DEPTH, MAX 8' O.C.		11/17/2023
	Eng Family Horr 611 8th Ave South, Sea REVISIONS NO. DESCRIPTION	
	22013 11/17/2023 DR/ MT DR	
		sated Checked by
		Scale As indicated

### PLANTING SCHEDULE

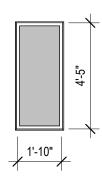
	QTY	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE
SHRUBS AND VIN	NES			
	4	$\bigcirc$	AKEBIA QUINATA / CHOCOLATE VINE	1-GAL. CONT.
	1		FATSIA JAPONICA / JAPANESE ARALIA	5-GAL. CONT.
	6		MAHONIA EURYBRACTEATA 'SOFT CARESS' / SOFT CARESS MAHONIA	1-GAL. CONT.
	10		PHYLLOSTACHYS AUREA / GOLDEN BAMBOO	10' MIN. HT.
	14		SARCOCOCCA RUSCIFOLIA / FRAGRANT SWEET BOX	2-GAL. CONT.
PERENNIALS				
	3		HOSTA 'FRAGRANT BOUQUET' / FRAGRANT BOUQUET HOSTA	1-GAL. CONT.
	2	$(\mathfrak{S})$	PAEONIA LACTIFLORA / CHINESE PEONY	1-GAL. CONT.



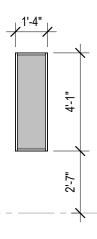
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	PLANTING SC	HEDU	LE					KENNEDY
			0.4450	BOTANICAL NAME / COMMON NAME				LY-AU YOUNG
COMMENTS	GROUNDCOVER	QTY	SYMBOL		SIZE	COMMENTS	-	ARCHITECTS
WELL SPREAD WITH DENSE FOLIAGE TO GRADE		20		PLEIOBLASTUS PYGMAEUS / PYGMY BAMBOO	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH		
WELL SPREAD WITH DENSE FOLIAGE TO GRADE		21		LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH		1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130
WELL SPREAD WITH DENSE FOLIAGE TO GRADE		46	$\begin{array}{c} & & & & \\ & & & & \\ & & & & \\ & & & & $	GROUNDCOVER MIX TYPE 1 70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.		MURASE ASSOCIATES
48" O.C.; FULL FOLIAGE, UPRIGHT BROWTH WITH MIN. 3 CANES; STAKED WITH 1.5"DIA. WOOD DOWEL PAINTED BLACK		20		30% TRICYRTIS / TOAD LILY	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.		LANDSCAPE ARCHITECTURE 4238 4th Ave NE, Seattle, WA 98105 T 206 322 4937 www.murase.com
30" O.C.; WELL SPREAD WITH DENSE FOLIAGE TO GRADE		57		GROUNDCOVER MIX TYPE 2 70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.		
		24		30% IRIS CONFUSA / IRIS	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.		
WELL SPREAD WITH DENSE FOLIAGE TO GRADE								
<ul> <li>— GOLDEN BAMBOO WITH SUPPORT STAKES 4' O.C.</li> <li>—— GROUNDCOVER MIX: IRIS CONFUSA AND LIRIOPE MUSCARI</li> </ul>								Official Stamps:
SEASONAL VEGETABLE GARDEN PLANTING WITH HANGING GOURDS								
BY OWNER - SOIL ONLY, NO MULCH			FATSIA JA					
	Exhibit Space (05) 120.3 SF		SARCOCOCCA HOO	ACCE KERIANA HUMILIS VER MIX: RICYRTIS	LIRIOPE			tead Renovation         wA 98104         E         NOT FOR CONSTRUCTION         PRICING SET         11/17/2023
	Exhibit Hall		166.6 SF	Entry 01 20.2 SF				Homes th, Seattle,
	Exhibit Space	• •			HOSTA			Eng Family 611 8th Ave Sour REVISIONS NO. DESCRIPTION
	Space (08) 148.9 SF Closet (08A) 15.7 SF		EXISTIN "Kitchen I MULCH ON NO PLANT 03_ 113.5 SF		GROUNDCOV LIRIOPE AND			22013 22013 N DR/MT DR/MT
		N						Project number Date Project Manager Drawn by Checked by
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							N	

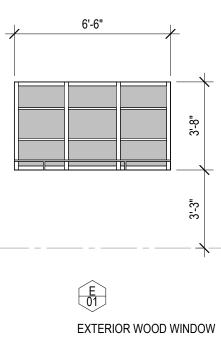
SUNDBERG



 $\langle S1 \rangle$ SKYLIGHT THERMALLY-BROKEN ALUMINUM MAX U-VALUE: U-0.45



SINGLE PANE INTERIOR WOOD WINDOW (WOOD STOPS)



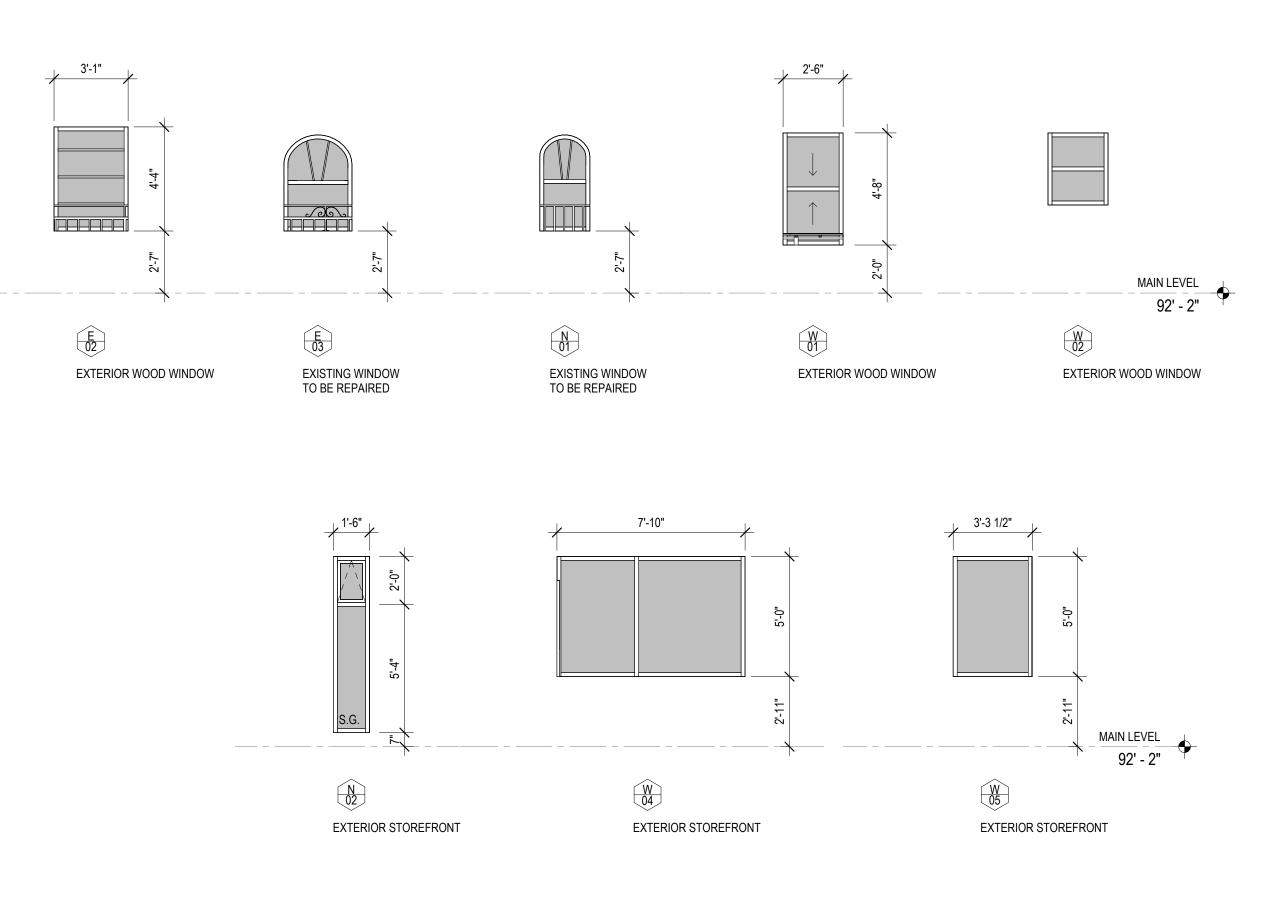
P2

2X6 FRAMING

5/8" GWB

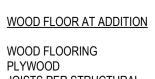
INTERIOR SHEARWALL AT ADDITION VERTICAL T&G WOOD PANELING

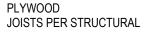
SHEATHING PER STRUCTURAL



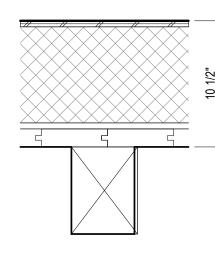














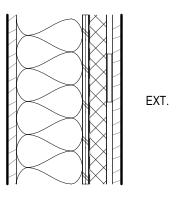
ROOF ASSEMBLY AT (E) WORKSHOP TPO MEMBRANE ROOFING 1/2" COVER BOARD MIN 8" R-38 POLYISO RIGID INSULATION FULLY ADHERED VAPOR RETARDER SHEATHING PER STRUCTURAL (E) 2X T&G DECKING (E) 6X8 PURLINS





INTERIOR PARTITION VERTICAL T&G WOOD PANELING 2X4 WD STUD FRAMING 5/8" GWB

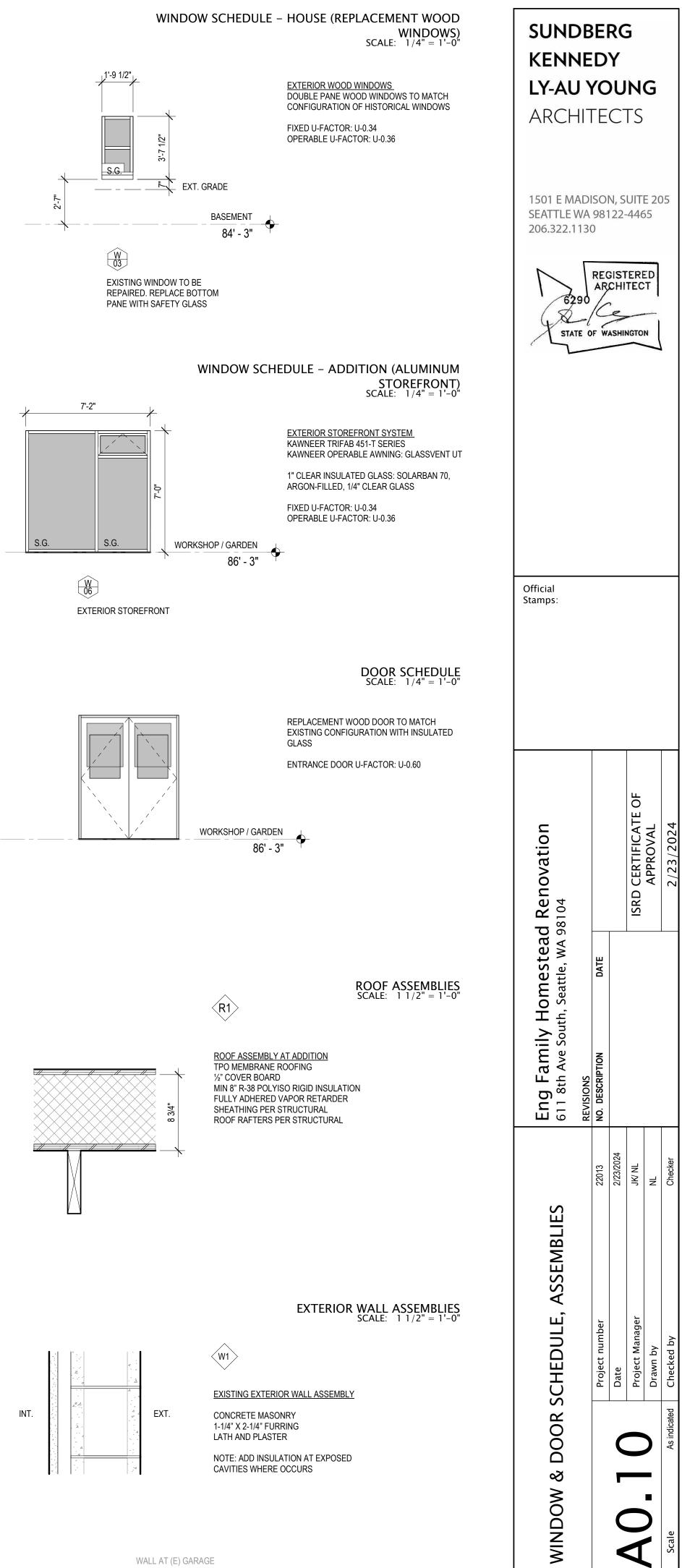
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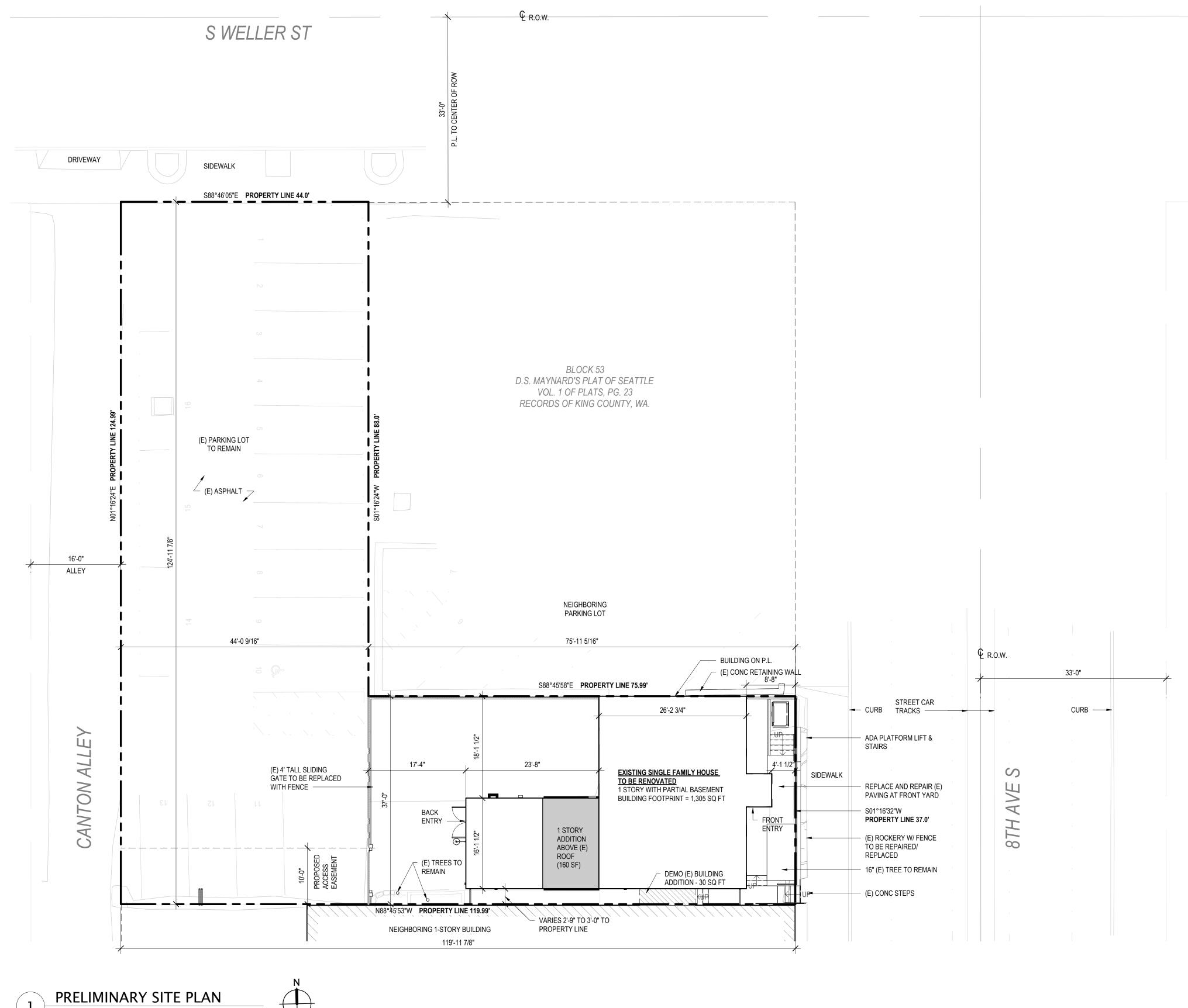




EXTERIOR WALL ASSEMBLY AT ADDITION VERTICAL TIGHT-KNOT CEDAR SIDING

7/16" RAINSCREEN FURRING STRIPS R-7.5 CONTINUOUS RIGID INSULATION AIR & WEATHER BARRIER PLYWOOD SHEATHING PER STRUCTURAL 2X6 WD STUD FRAMING R-21 FIBERGLASS BATT INSULATION VERTICAL T&G WOOD PANELING





 PRELIMINARY SITE PLAN

 SCALE: 1" = 10'-0"

### PROJECT INFORMATION

ADDRESS	611 8TH AVE SOUTH SEATTLE, WA 98104
OWNER	WING LUKE MUSEUM OF THE ASIAN PACIFIC AMERICAN EXPERIENCE
PROJECT DESCRIPTION	RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE FOR HISTORICAL DOCENT-LED TOURS.
ASSESSOR'S PARCEL NO.	524780-2655

LEGAL DESCRIPTION:

(PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO. 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.)

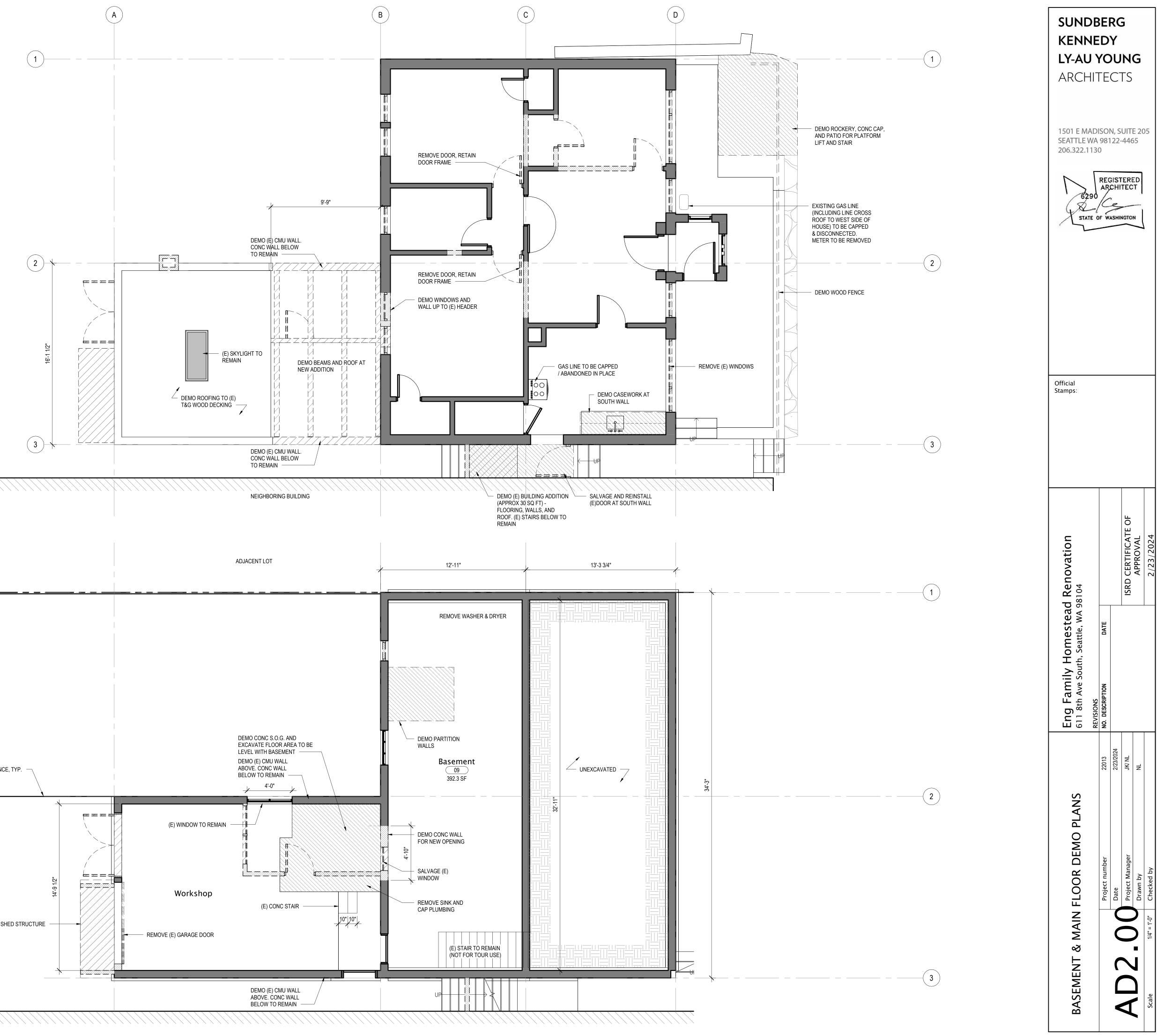
THE NORTH 5 FEET OF LOT 6; LOT 7, EXCEPT THE NORTH 28 FEET OF THE EAST 76 FEET; AND THE WEST 44 FEET OF LOT 8, ALL IN BLOCK 53, TOWN OF SEATTLE, AS LAID OUT BY D.S.MAYNARD (COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF SEATTLE), ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF PLATS, PAGE 23, RECORDS OF KING COUNTY, WASHINGTON.

ZONING	INTERNATIONAL DISTRICT MIXED IDM 85/85-170
HISTORIC DISTRICT	INTERNATIONAL SPECIAL REVIEW DISTRICT
GROSS FLOOR AREA	MAIN LEVEL: 920 SQ FT BASEMENT LEVEL: 810 SQ FT NEW FLOOR AREA: 120 SQ FT TOTAL FLOOR AREA: 1,850 SQ FT
ASSOCIATED PROJECT NO.	3040417-LU, 3040418-LU, 3040419-LU (CONCURRENT SHORT PLAT APPLICATION)

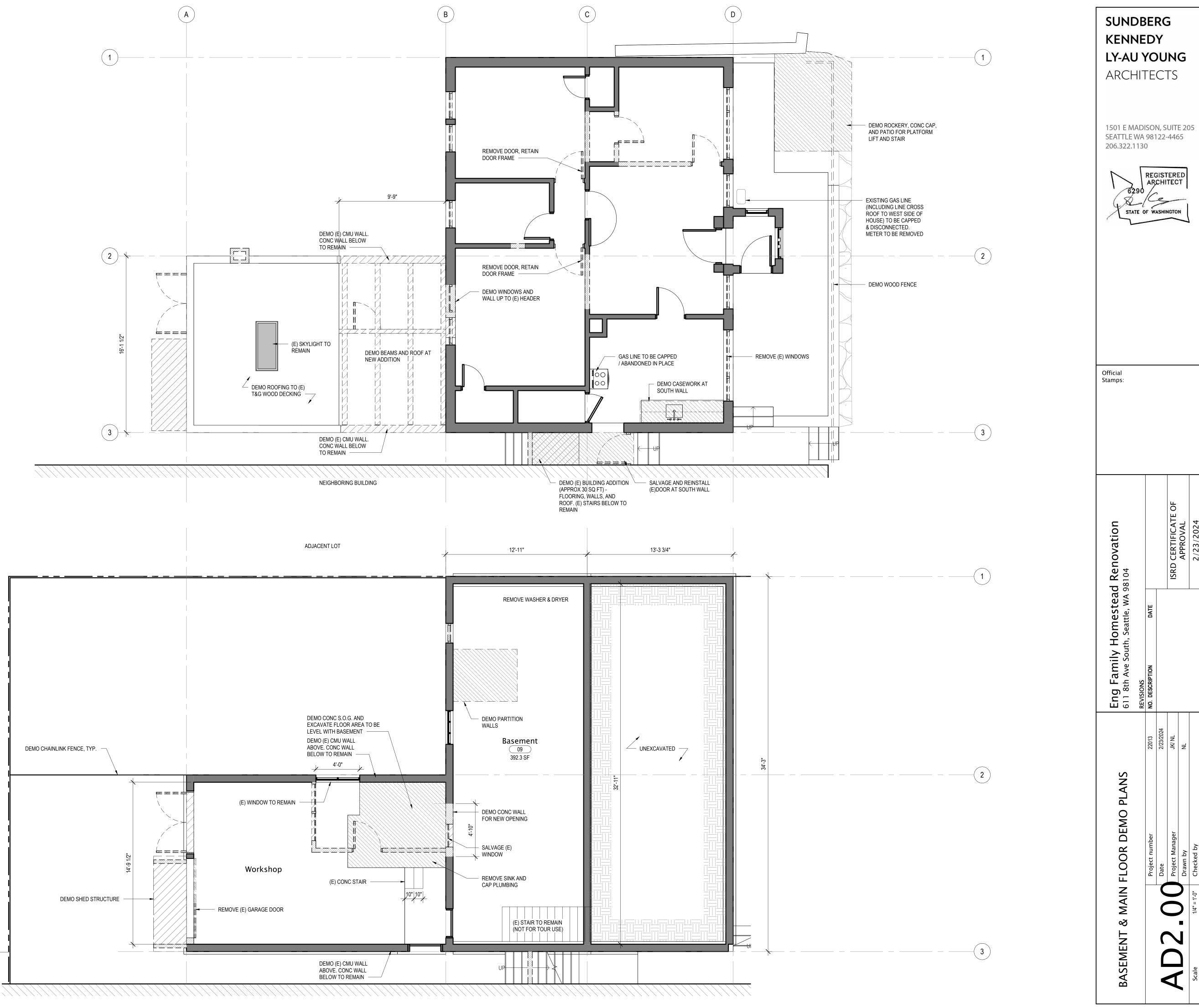
# SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS 1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 REGISTERED ARCHITECT STATE OF WASHINGTO

Official Stamps:

Family Homestead Renovation th Ave South, Seattle, WA 98104				ISRD CERTIFICATE OF	APPROVAL	2/23/2024
Homestead		DATE				
Eng Family Homestead Re 611 8th Ave South, Seattle, WA 98104	REVISIONS	NO. DESCRIPTION				
		22013	2/23/2024	JK/ NL	NL	
		Project number	Date	Project Manager	Drawn by	Checked by
Z						1" = 10'-0"
SITE PLAN			~	4		Scale

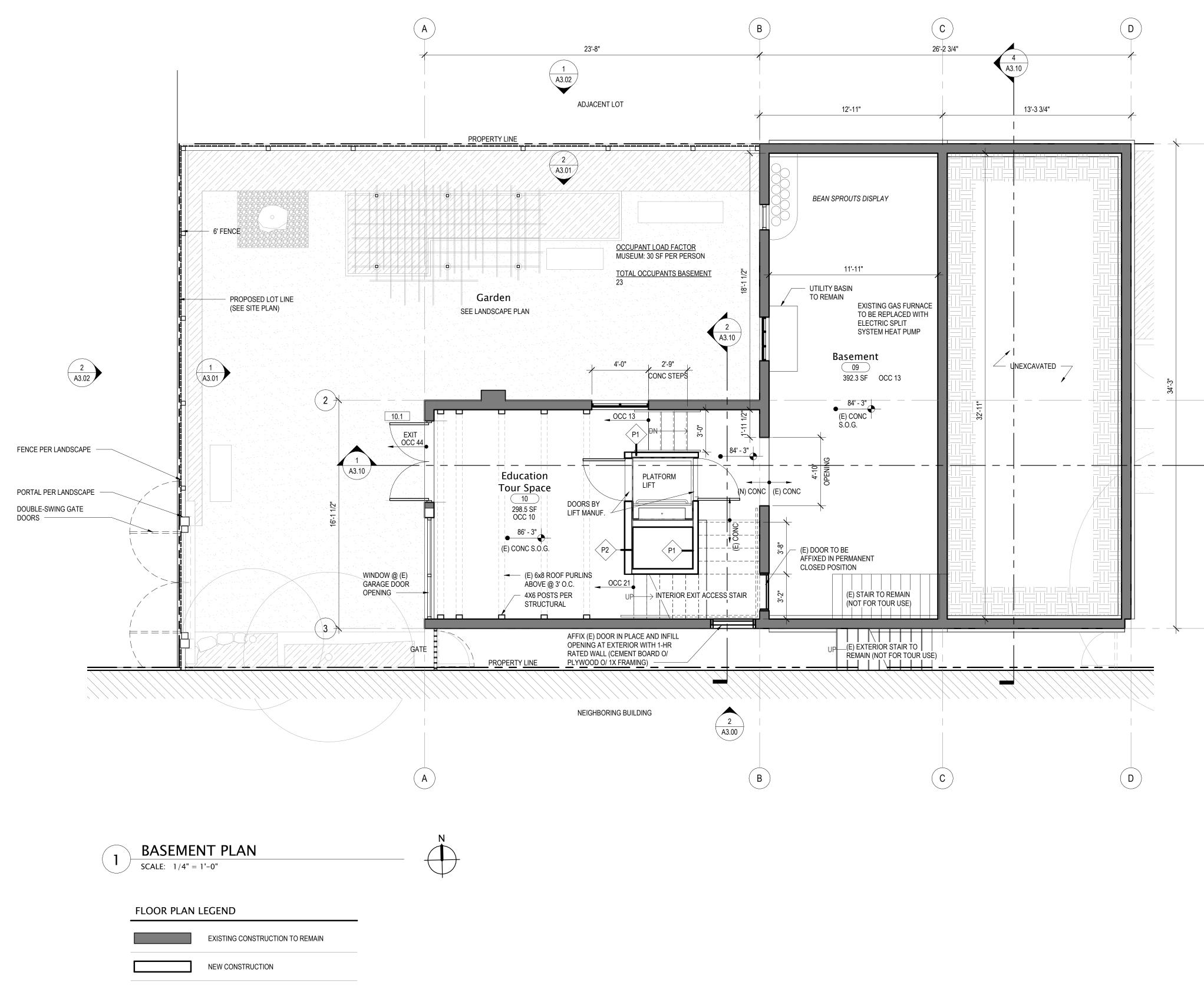












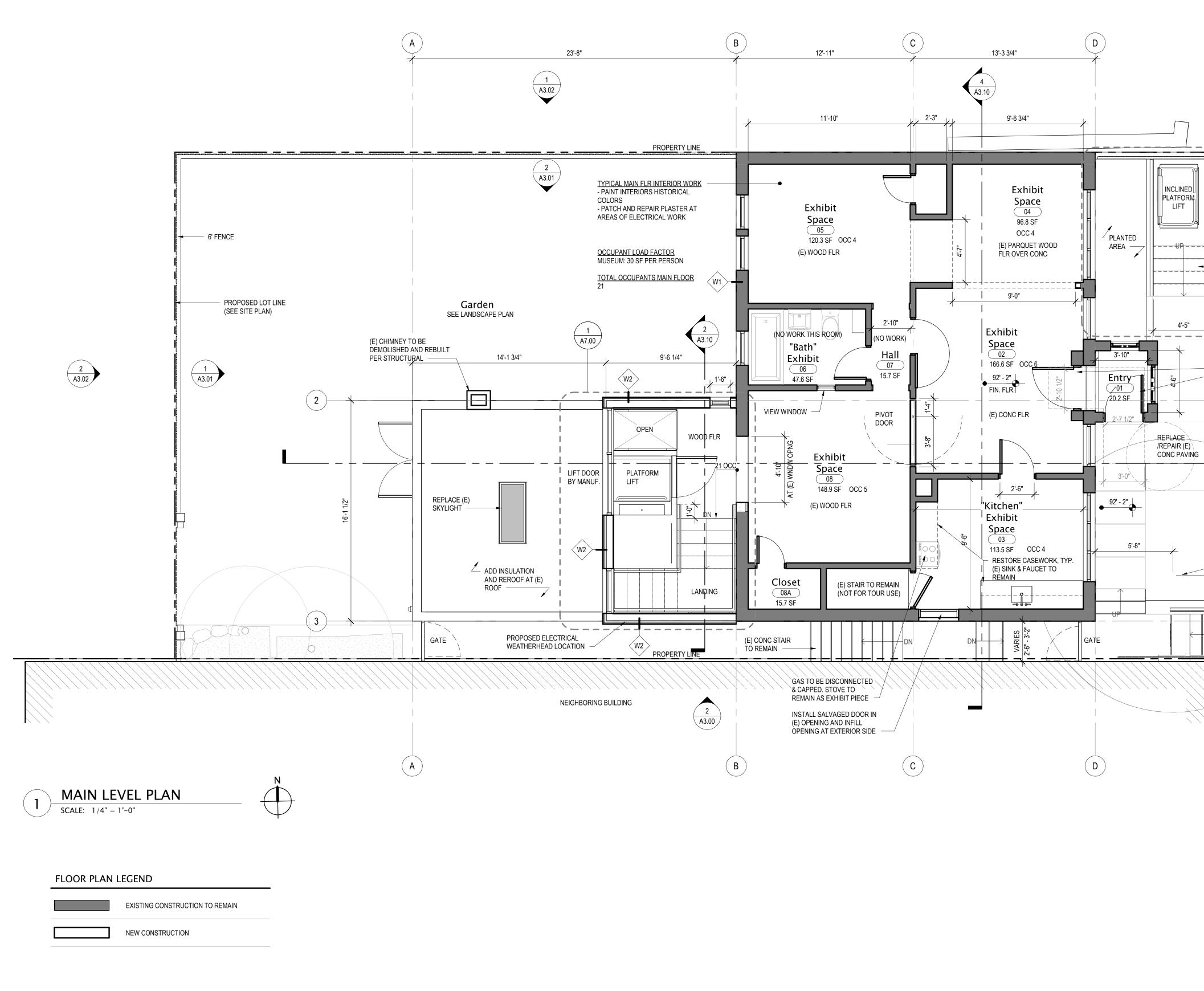
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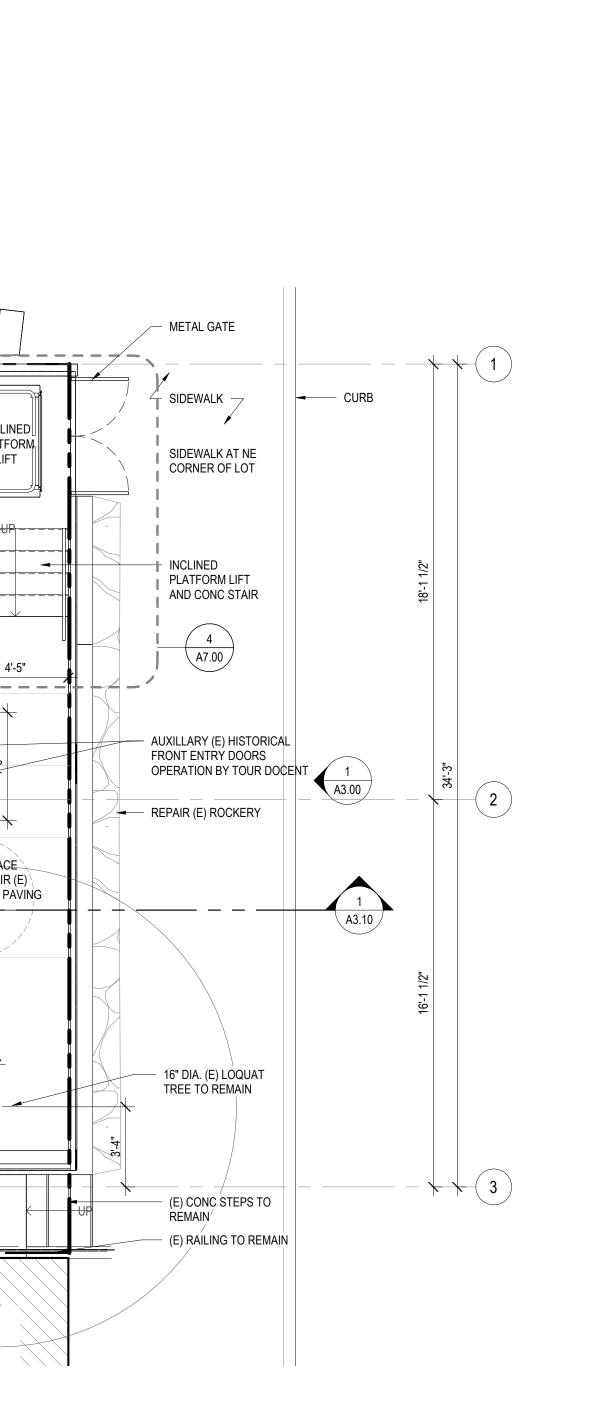




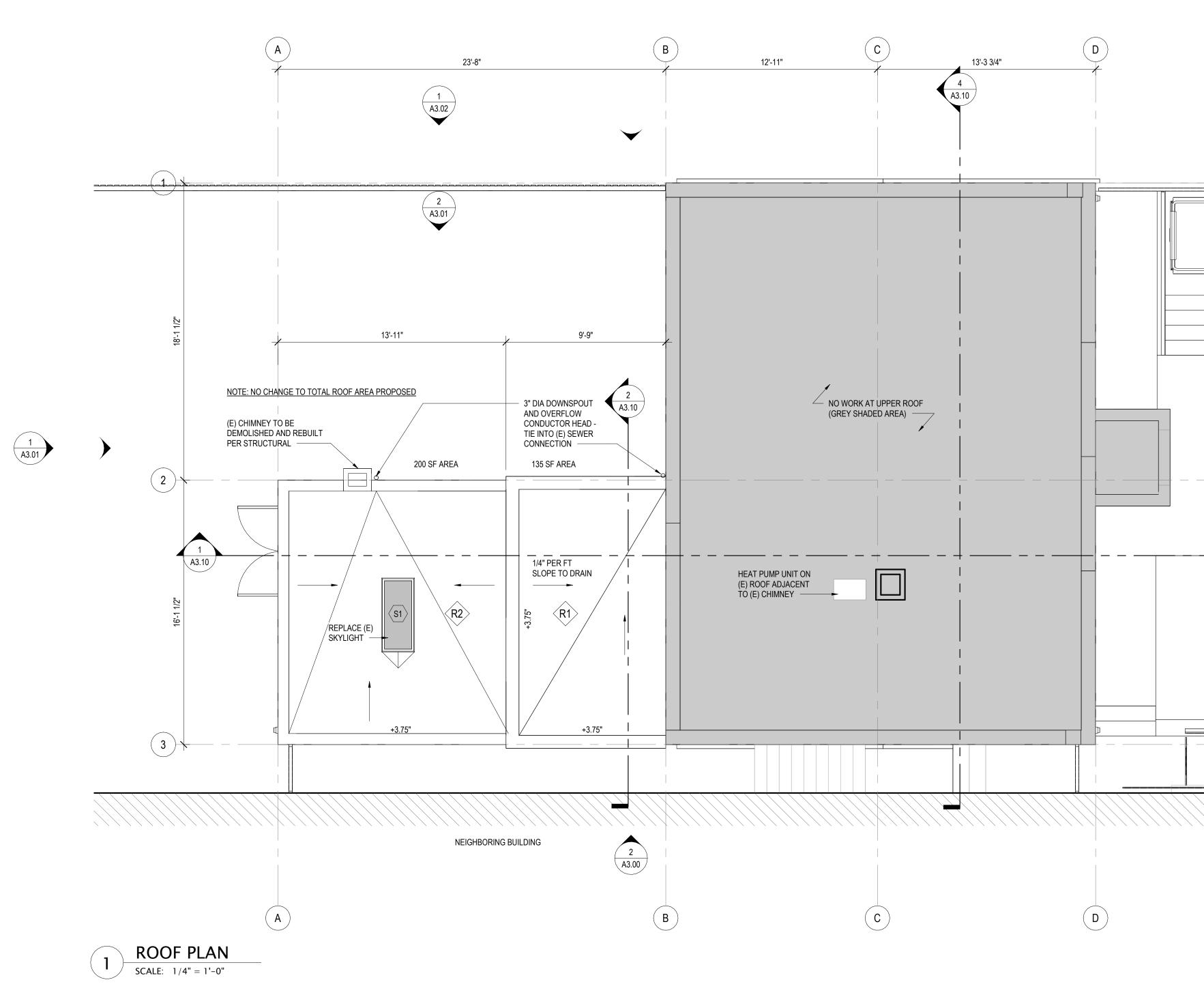




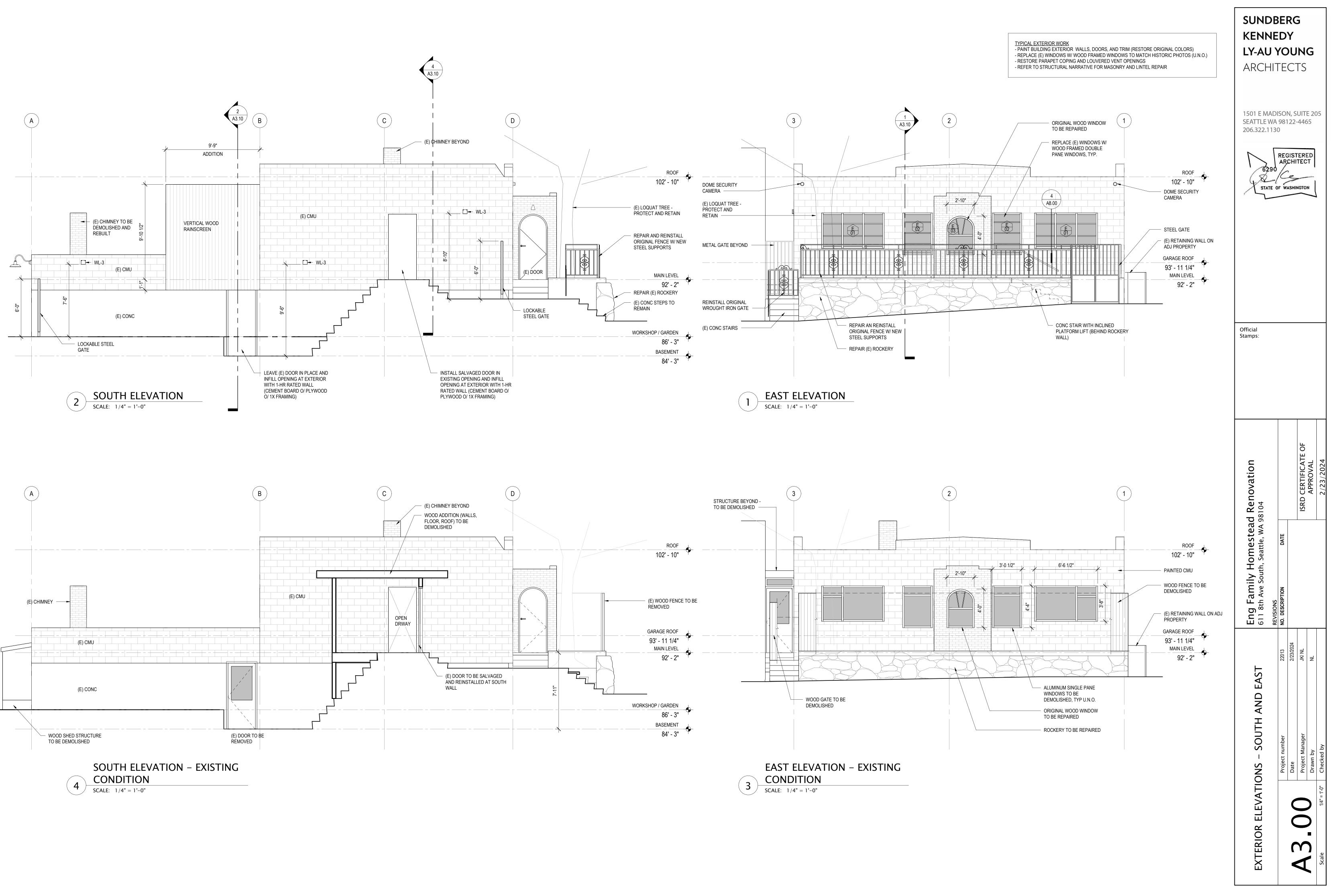


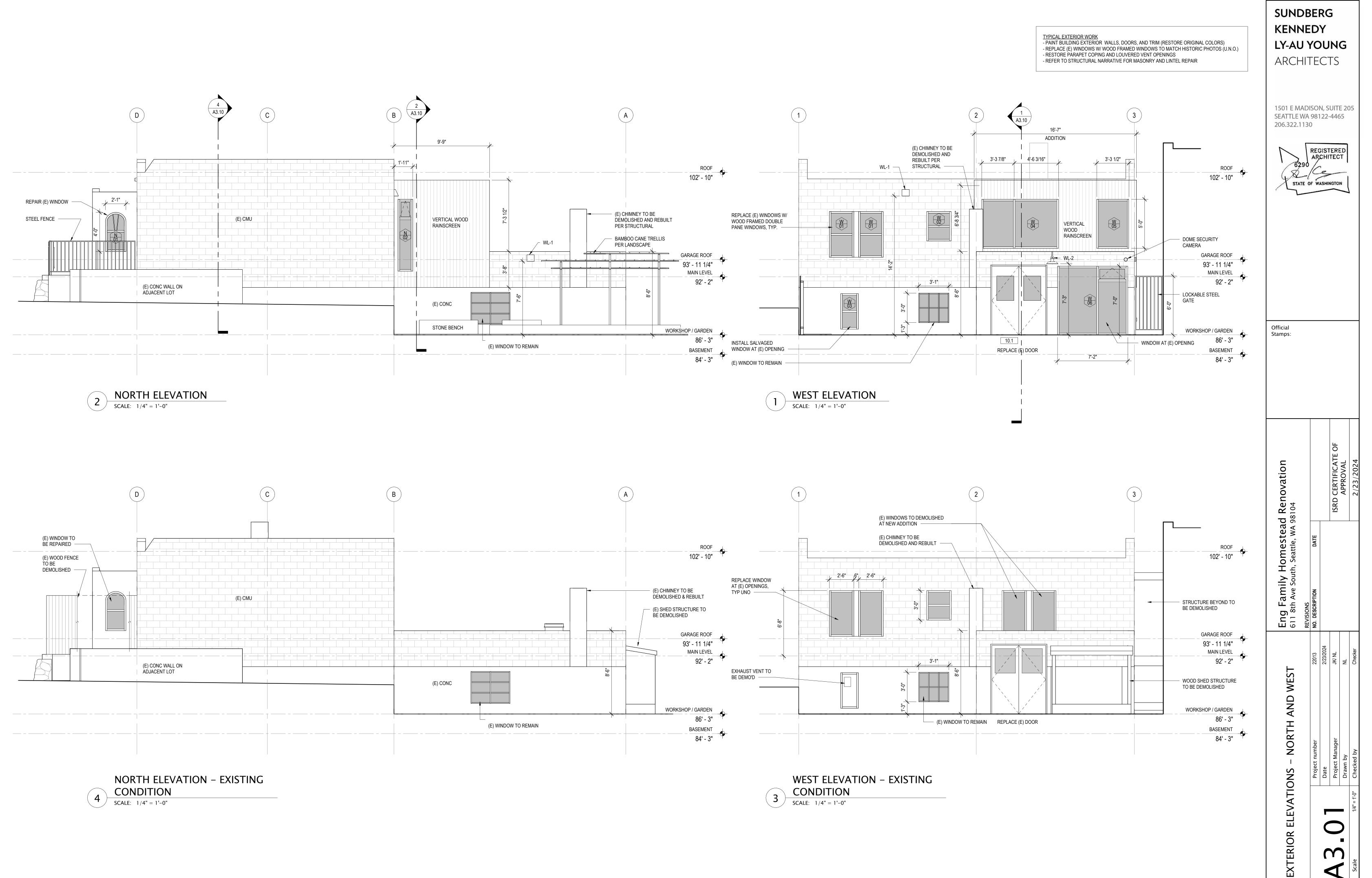


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1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 REGISTERED ARCHITECT 6290 STATE OF WASHINGTON							
Official Stamps:							
d Renovation 98104			ISRD CERTIFICATE OF	2/23/2024			
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MAIN LEVEL PLAN				)	As indicated		
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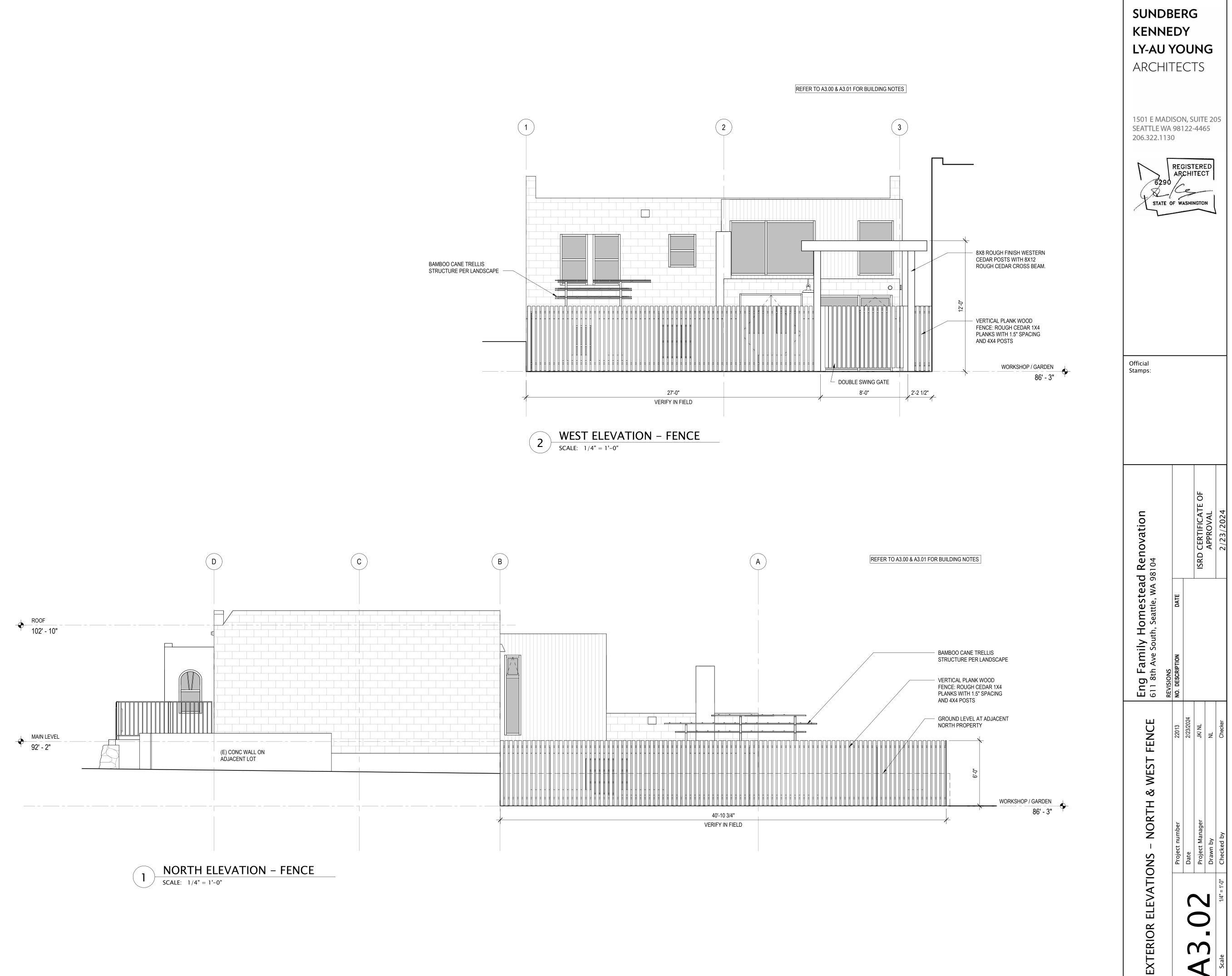


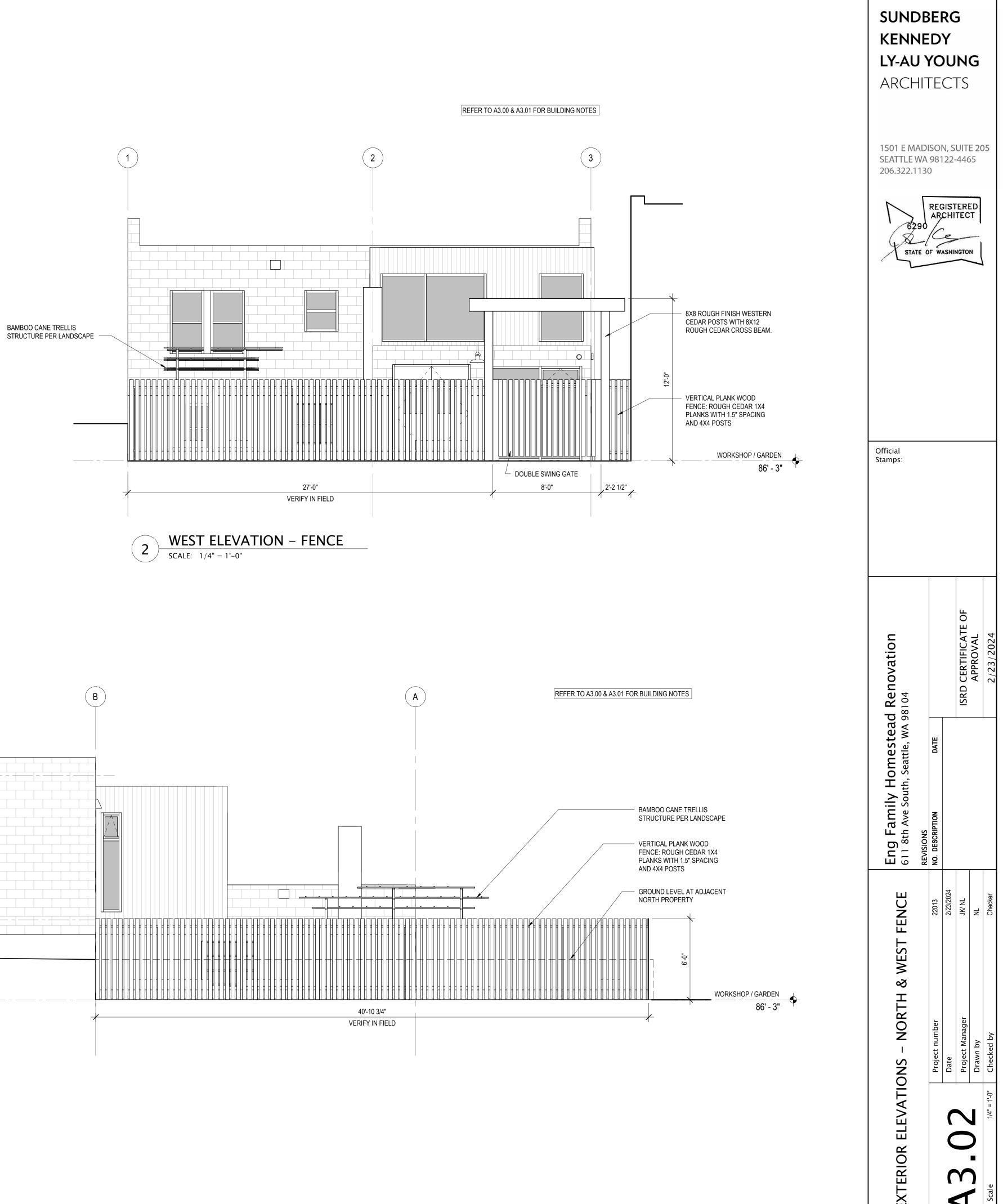
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	1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 REGISTERED ARCHITECT 6290 STATE OF WASHINGTON
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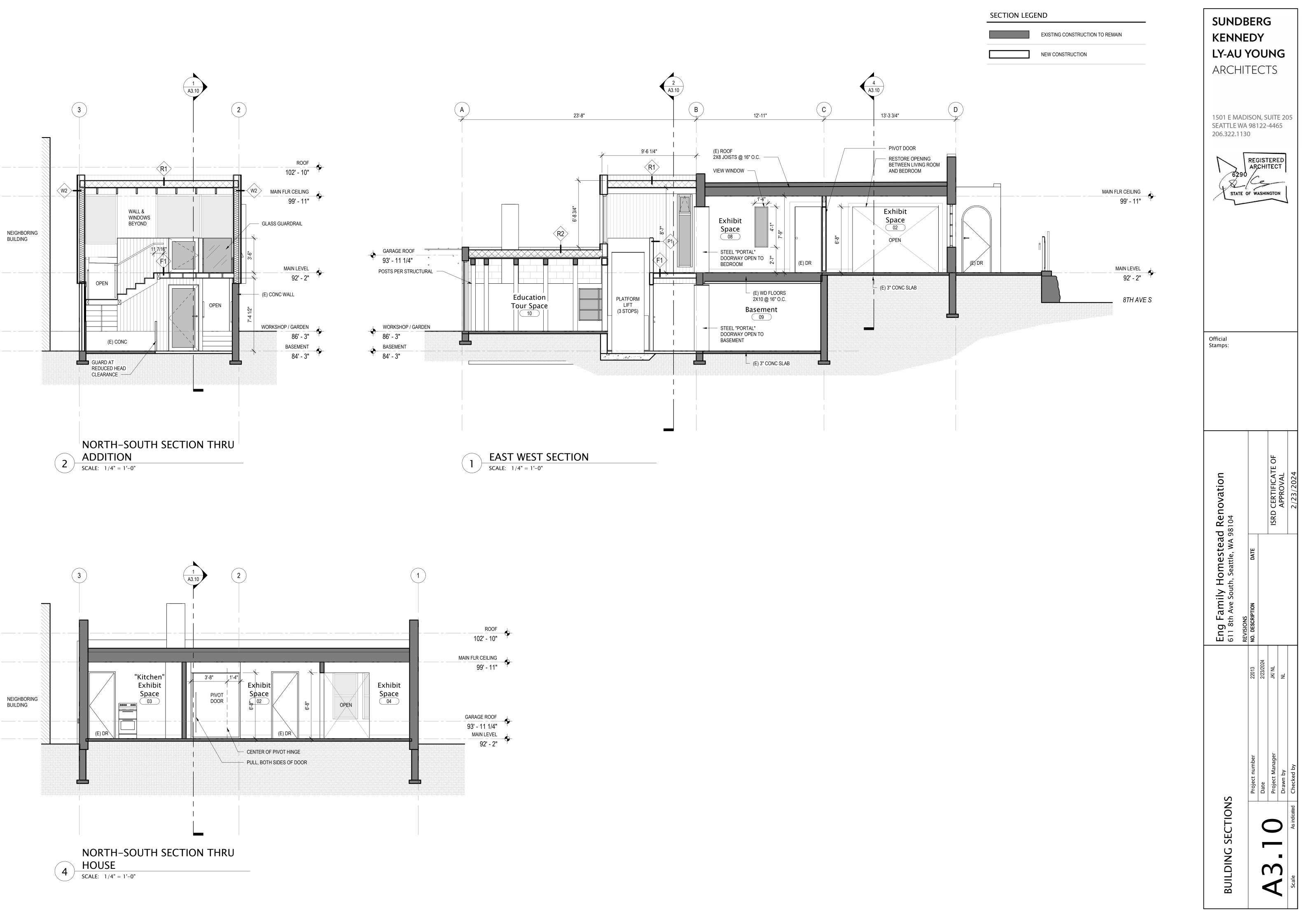


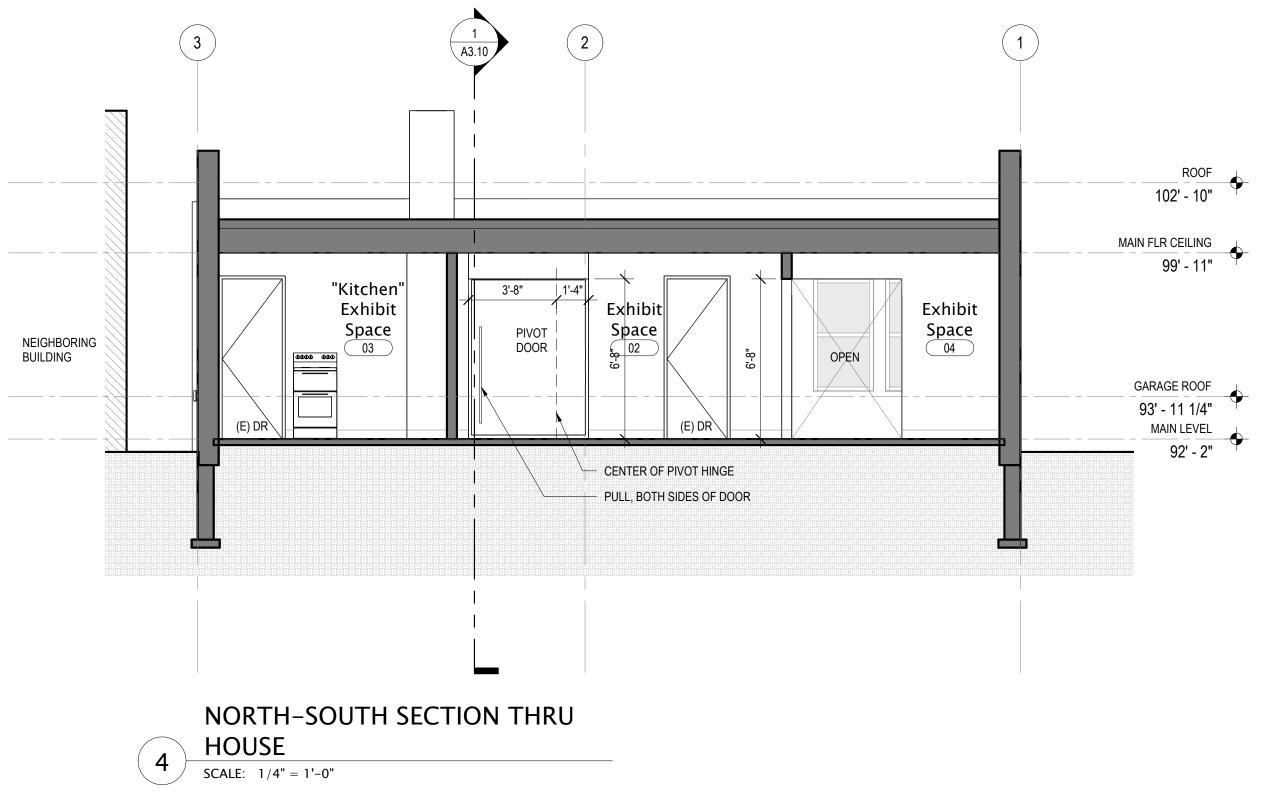


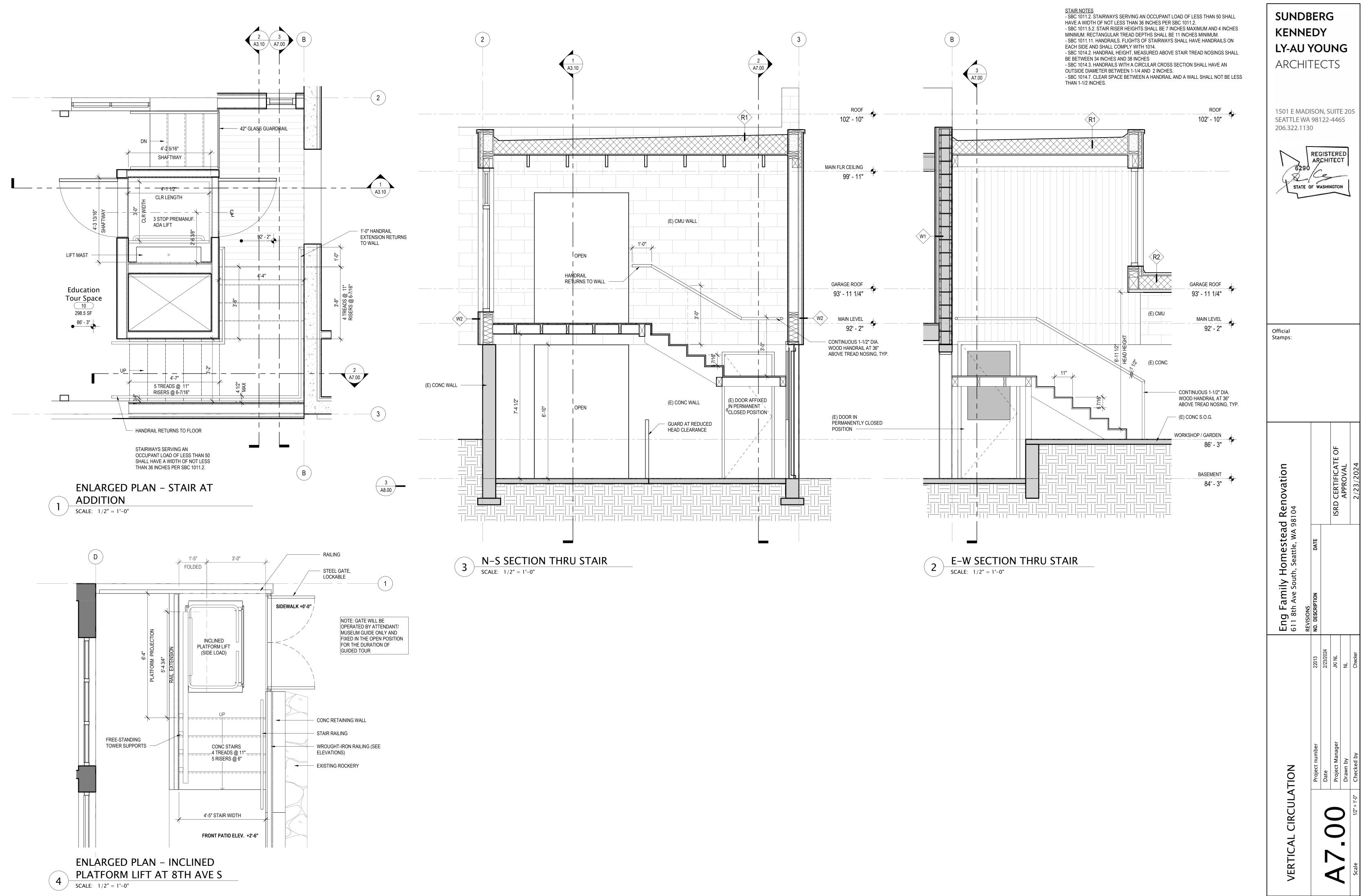
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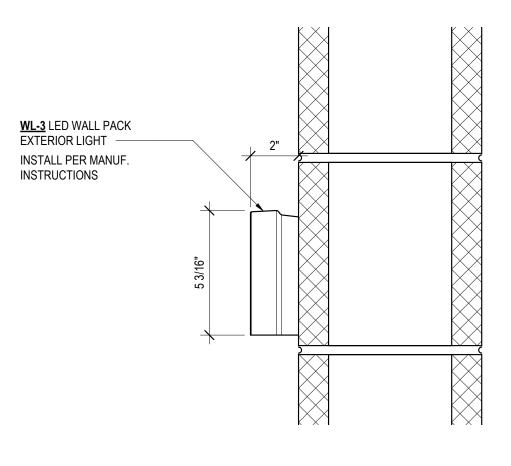




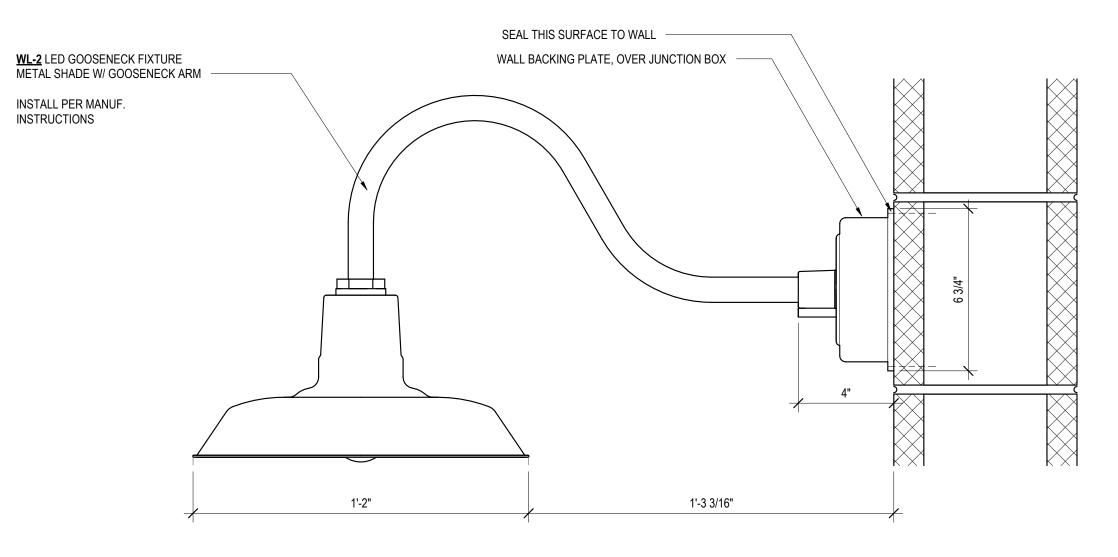




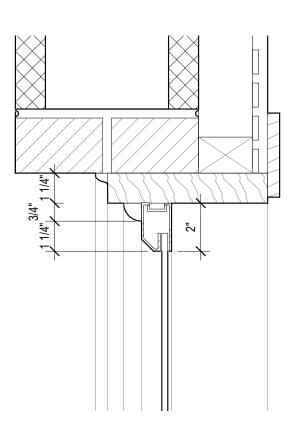


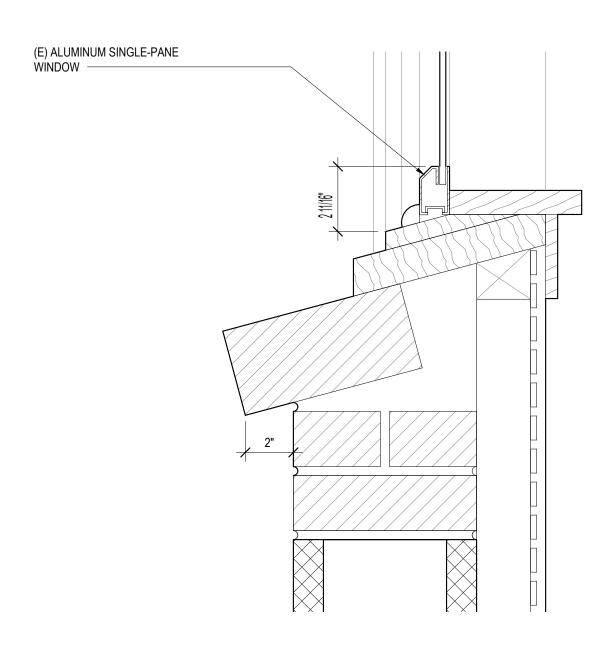






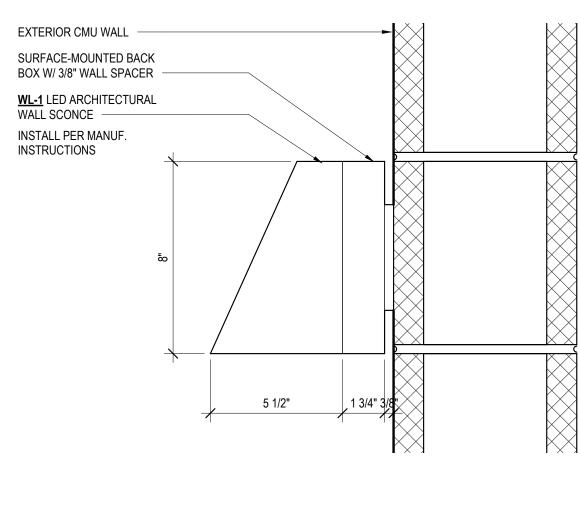
2 WL-2 ATTACHMENT PROFILE SCALE: 3" = 1'-0"





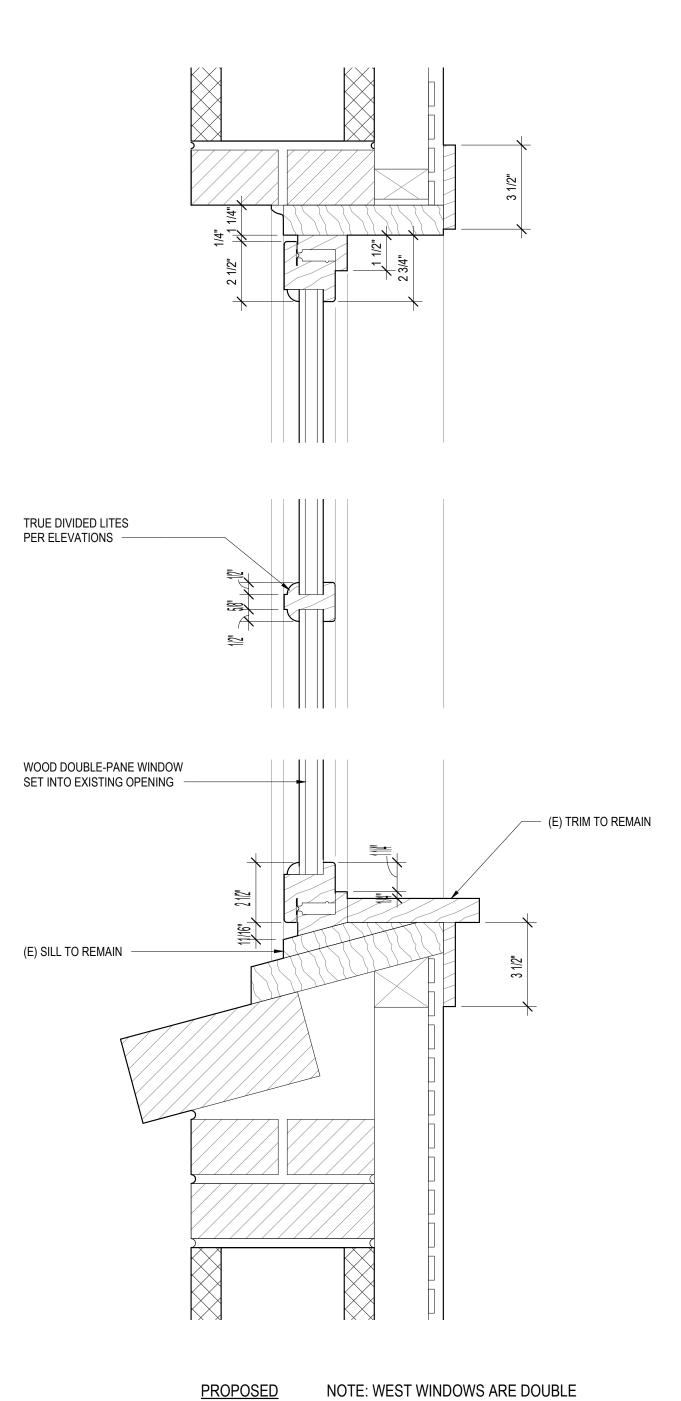


<u>EXISTING</u>





1 WL-1 ATTACHMENT PROFILE SCALE: 3" = 1'-0"



NOTE: WEST WINDOWS ARE DOUBLE HUNG WINDOWS WITH SIMILAR PROFILE TO CASEMENT SHOWN.

# SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS 1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 Official Stamps: OF ) CERTIFICATE ( APPROVAL 2/23/2024 Eng Family Homestead Renovation 611 8th Ave South, Seattle, WA 98104 REVISIONS NO. DESCRIPTION DATE ISRD 2/23/20 JK/ NL NL 2 2 EXTERIOR DETAILS 00

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### GENERAL STRUCTURAL NOTES

THE FOLLOWING SHALL APPLY UNLESS SHOWN OTHERWISE ON THE PLANS

#### <u>CRITERIA</u>

- SUMMARY OF WORK: THIS PROJECT CONSISTS OF A NEW STAIR ADDITION, TENANT IMPROVEMENTS, AND A VOLUNTARY SEISMIC UPGRADE TO AN EXISTING ONE-STORY RESIDENCE WITH AN ATTACHED GARAGE. THE EXISTING BUILDING UPGRADE HAS BEEN DESIGNED FOLLOWING THE EVALUATION AND RETROFIT STANDARDS OF THE SEATTLE EXISTING BUILDING CODE 303.4.2 AND ASCE 41-17 FOR A COLLAPSE PREVENTION PERFORMANCE OBJECTIVE IN A 75% BSE-2E LEVEL EARTHQUAKE. REFERENCE ENGINEER'S STRUCTURAL EVALUATION REPORT IN ACCORDANCE WITH DIRECTOR'S RULE DR 15-2021, DATED SEPTEMBER 15, 2023. ALL NEW STRUCTURAL ELEMENTS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE 2018 SEATTLE BUILDING CODE.
- 2. DOCUMENTS: STRUCTURAL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DOCUMENTS FOR ALL BIDDING AND CONSTRUCTION.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. TYPICAL DETAILS AND GENERAL NOTES SHALL APPLY EVEN IF NOT SPECIFICALLY DENOTED ON PLANS, UNLESS NOTED OTHERWISE. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF RECORD.

PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTIONS, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

EXISTING STRUCTURAL INFORMATION, DESIGNATED AS (E) ON THE STRUCTURAL DRAWINGS, HAS BEEN COMPILED FROM INFORMATION FURNISHED BY VARIOUS SOURCES AND IS NOT NECESSARILY FIELD-VERIFIED BY THE ENGINEER. DIMENSIONS RELATING TO THE EXISTING STRUCTURES ARE INTENDED FOR USE AS GUIDELINES ONLY; ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS SHALL BE FIELD-VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

- 3. WARRANTY: THE STRUCTURAL ENGINEER OF RECORD HAS USED THE DEGREE OF CARE AND SKILL ORDINARILY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY MEMBERS OF THE PROFESSION IN THIS LOCALE AND NO OTHER WARRANTY, EITHER EXPRESSED OR IMPLIED, IS MADE IN CONNECTION WITH RENDERING PROFESSIONAL SERVICES.
- 4. OWNER RESPONSIBILITY: THE OWNER SHALL RETAIN A SPECIAL INSPECTOR TO PERFORM THE SPECIAL INSPECTION REQUIREMENTS REQUIRED BY THE BUILDING OFFICIAL AND AS OUTLINED IN THE QUALITY ASSURANCE SECTION BELOW.

#### <u>CRITERIA</u>

- 5. ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS SPECIFICATIONS, THE 2018 INTERNATIONAL BUILDING CODE (IBC), WITH STATE AND LOCAL JURISDICTION AMENDMENTS.
- 6. DESIGN LOADING CRITERIA

ROOF SNOW LOAD	
LATERAL LOADS - WIND BASIC WIND SPEED IMPORTANCE FACTOR Kzt EXPOSURE INTERNAL PRESSURE COEFF. COMPONENTS & CLADDING (20 FT^2, ULTIMATE) WALL	97 MPH 1.0 1.0 B +/- 0.18 22.3 PSF (FIELD) / 25.8 PSF (EDGE)
ROOF WIND DESIGN BASE SHEAR (ULT)	31.0 PSF (FIELD) / 41.4 PSF (EDGE) 2.29 KIPS (E/W) / 2.13 KIPS (N/S)
LATERAL LOADS - SEISMIC SEISMIC IMPORTANCE FACTOR STRUCTURAL OCCUPANCY CATEGORY MAPPED SPECTRAL RESPONSE ACCELERATIONS BUILDING LOCATION SITE CLASS SPECTRAL RESPONSE COEFFICIENTS SEISMIC DESIGN CATEGORY BASIC SEISMIC FORCE RESISTING SYSTEM DESIGN BASE SHEAR (ULT) RESPONSE MODIFICATION FACTOR ANALYSIS PROCEDURE	Ip=1.0 II Ss=1.413g, S1=0.493g 47.5972 N, 122.3227 W D SDs=1.131g D LIGHT FRAMED SHEAR WALLS 2.56 KIPS R = 6.5 EQUIVALENT LATERAL FORCE

- 7. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS, CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURE DURING CONSTRUCTION".
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK.THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
- 9. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
- 10. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.
- 11. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

#### CONCRETE MIX DESIGN

REINFORCING STEEL SHOP DRAWINGS & PLACEMENT PLAN STRUCTURAL STEEL

- DEFERRED STRUCTURAL COMPONENTS AS REQUIRED (REF NOTE #13)
- 12. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

13. SHOP DRAWINGS OF DEFERRED STRUCTURAL DESIGN BUILD COMPONENTS INCLUDING CURTAIN WALL SYSTEMS, SKYLIGHT FRAMES, PREFABRICATED STAIR SYSTEMS, EXTERIOR CLADDING, CANOPIES, STORAGE RACKS (GREATER THAN 6 FT IN HEIGHT), HANDRAILS, GUARDS, GRAB RAILS, AND PRE-MANUFACTURED TRUSSES SHALL INCLUDE THE DESIGNING PROFESSIONAL ENGINEER'S STAMP, STATE OF WASHINGTON, AND SHALL BE APPROVED BY THE COMPONENT DESIGNER PRIOR TO REVIEW OF THE ARCHITECT OR ENGINEER OF RECORD FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF DOCUMENTS TO THE BUILDING OFFICIAL FOR APPROVAL AS REQUIRED. THE DEFERRED STRUCTURAL COMPONENTS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. THE COMPONENT DESIGNER IS RESPONSIBLE FOR CODE CONFORMANCE AND ALL NECESSARY CONNECTIONS NOT SPECIFICALLY CALLED OUT ON ARCHITECTURAL OR STRUCTURAL DRAWINGS.SHOP DRAWINGS SHALL INDICATE MAGNITUDE AND DIRECTION OF ALL LOADS IMPOSED ON BASIC STRUCTURE. DESIGN CALCULATIONS SHALL BE MADE AVAILABLE UPON REQUEST.

#### QUALITY ASSURANCE

- CONSTRUCTION.
- SOILS CONCRETE CONSTRUCTION WOOD CONSTRUCTION STEEL CONSTRUCTION
- POST-INSTALLED ANCHOR INSTALLATION EPOXY GROUTED INSTALLATION

#### GEOTECHNICAL

- POSSIBLE FOUNDATION REDESIGN.
- ASTM D-1557 OR A LEAN CONCRETE MIX.

#### RENOVATION

- SAW CUTTING WHEREVER POSSIBLE.
- CUTTING ANY OPENINGS.
- OTHERWISE NOTED ON PLANS.

# ARCHITECT.

- EXPERIENCED MASON:

SCRAPE ALL LOOSE AND WEAKENED MORTAR OUT TO FULL DEPTH OF THE DETERIORATION; REMOVE AND REPLACE ANY LOOSE CONCRETE MASONRY UNITS; CHECK FOR LOOSE FACING BRICK VENEERS; TUCK POINT ALL JOINTS SOLID. ALL MASONRY RESTORATION AND REPAIR SHALL BE PERFORMED IN SUCH A MANNER THAT THE EXISTING STRUCTURE IS NOT WEAKENED OR LEFT UNSUPPORTED DURING THE PROCESS OF THE WORK. ALL EXTERIOR APPENDAGES SUCH AS FIRE ESCAPES, CORNICES AND EYEBROWS SHALL BE INSPECTED FOR STRUCTURAL INTEGRITY AND THE CONDITION OF THE CONNECTIONS TO THE STRUCTURE. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER AS TO THEIR FINDINGS.

#### <u>CONCRETE</u>

- CRITERIA SHALL BE AS FOLLOWS:
- TYPE OF CONSTRUCTION MIN STRE
- ALL STRUCT CONCRETE 4,0
- MANUFACTURER'S RECOMMENDATIONS.
- BUILDING CODE.
- CONFORMING TO ASTM A615, GRADE 60, fy = 60,000 PSI.
- AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

- 24. CONCRETE PROTECTION (COVER FOOTINGS AND OTHER UNFORM FORMED SURFACES EXPOSED TO FORMED SURFACES EXPOSED TO COLUMN TIES OR SPIRALS AND I SLABS AND WALLS (INT. FACE)
- PRECAST.

14. THE OWNER SHALL RETAIN A SPECIAL INSPECTOR TO PERFORM THE SPECIAL INSPECTION REOUIREMENTS AS REQUIRED BY THE BUILDING OFFICIAL AS OUTLINED IN SECTION 1704 OF THE INTERNATIONAL BUILDING CODE. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF

IBC 1705.6
IBC 1705.3, ACI 318
IBC 1705.5
IBC 1705.2, AISC 360
IBC 1705.1.1/TABLE 1705.3
ESR REPORT

15. FOUNDATION NOTES: ALLOWABLE SOIL PRESSURE AND LATERAL EARTH PRESSURE ARE ASSUMED AND THEREFORE MUST BE VERIFIED BY A QUALIFIED SOILS ENGINEER OR APPROVED BY THE BUILDING OFFICIAL. IF SOILS ARE FOUND TO BE OTHER THAN ASSUMED, NOTIFY THE STRUCTURAL ENGINEER FOR

ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED EARTH FREE FROM ORGANIC MATERIALS AT LEAST 18" BELOW ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY: THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED BELOW COLUMNS OR WALLS ABOVE.

FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, SLOUGHS, DEBRIS AND FREE OF WATER AT ALL TIMES. IF ORGANIC SILT AND/OR FILL MATERIAL IS ENCOUNTERED AT SUBGRADE, OVER-EXCAVATE A MINIMUM OF 2'-0" BELOW THE DESIGN FOUNDATION SUBGRADE ELEVATION PRIOR TO PLACING FOOTINGS. THE OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH STRUCTURAL FILL COMPACTED TO 95% PROCTOR PER

16. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF, ON EXISTING ROOF SYSTEMS TO 25 PSF.

EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS, AND BEAMS SHALL BE ACCOMPLISHED BY

B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO

C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE. D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DOWELS EPOXY GROUTED INTO EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNLESS

17. CONTRACTOR SHALL CHECK FOR DRYROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR

18. WHERE NEW EXCAVATIONS EXTEND BELOW AND UNDERMINE EXISTING FOOTINGS, THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROVIDE TEMPORARY SUPPORT TO THE STRUCTURE AND EXISTING FOUNDATION AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL ALL TEMPORARY SUPPORT AS REQUIRED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

19. ALL EXTERIOR MASONRY WALLS SHALL BE SURVEYED, INSPECTED AND REPAIRED AS FOLLOWS BY AN

20. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906, AND ACI 301, INCLUDING TESTING PROCEDURES. MINIMUM STRENGTHS AT 28 DAYS AND MIX

N 28 DAY	MAXIMUM	MAXIMUM	AIR	MAXIMUM	
ENGTH (f'c)	W/C RATIO	AGGREGATE	CONTENT	SLUMP	
000 PSI	0.38	3⁄4"	5% +/- 1	3.5"	

ADMIXTURES: ALL CONCRETE, INCLUDING SLAB ON GROUND, SHALL CONTAIN AN ACCEPTABLE WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494 AND BE USED IN STRICT ACCORDANCE WITH THE

21. THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE STRUCTURAL ENGINEER AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REOUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE 1904.2.1 OF THE INTERNATIONAL

22. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE

23. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8"

R) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:	
MED SURFACES CAST AGAINST EARTH	3"
O EARTH OR WEATHER (#6 BARS OR LARGER)	2"
O EARTH OR WEATHER (#5 BARS OR SMALLER)	1-1/2"
BEAM STIRRUPS	1-1/2"
GREATER OF BAR DIAMETER PLUS 1/8	" OR 3/4"

25. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND

#### ANCHORAGE

- 26. EPOXY-GROUTED ITEMS INTO CONCRETE (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-RE 500 V3" HIGH-STRENGTH EPOXY AS MANUFACTURED BY THE HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3814. SPECIAL INSPECTION PER ESR. RODS SHALL BE ASTM A-36 GALVANIZED, UNLESS OTHERWISE NOTED.
- 27. EPOXY-GROUTED ITEMS INTO GROUTED CONCRETE MASONRY (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "HIT-HY 270" HIGH-STRENGTH EPOXY AS MANUFACTURED BY THE HILTI CORP. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4143. SPECIAL INSPECTION PER ESR. RODS SHALL BE ASTM A-36 GALVANIZED, UNLESS OTHERWISE NOTED.
- 28. EXPANSION BOLTS INTO CONCRETE SHALL BE "KWIK BOLT TZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-1917, INCLUDING MINIMUM EMBEDMENT REOUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION PER ESR REPORT.
- 29. SCREW BOLTS INTO CONCRETE AND GROUTED CONCRETE MASONRY SHALL BE "KH-EZ" AS MANUFACTURED BY THE HILTI CORP., INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-3027 AND ESR-3056, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. SPECIAL INSPECTION PER ESR REPORT.

#### <u>STEEL</u>

30. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

3. SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS.

- 1. AISC 360 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS AND CHAPTER 22 OF THE
- INTERNATIONAL BUILDING CODE. 2. AISC 303, CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, AMENDED AS NOTED IN THE CONTRACT DOCUMENTS AND BY THE DELETION OF PARAGRAPH 4.4.1.

31. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

CONNECTION BOLTS

		_
TYPE OF MEMBER	ASTM SPECIFICATION	Fy
WIDE FLANGE SHAPES	A992	50 KSI
HSS SQUARE & RECT.	A500 (GRADE B)	46 KSI
CHANNELS, ANGLES AND PLATES	A36	36 KSI
ANCHOR RODS	F1554, GRADE 36	36 KSI

32. ALL A-325-N CONNECTION BOLTS, NOT PART OF THE SEISMIC LOAD RESISTING SYSTEM (SLRS), NEED ONLY BE TIGHTENED TO SNUG-TIGHT (ST) CONDITIONS, DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. THIS MAY BE ATTAINED BY A FEW IMPACTS OF AN IMPACT WRENCH OF THE FULL EFFORT OF A PERSON USING AN ORDINARY SPUD WRENCH. ALL BOLT HOLES SHALL BE STANDARD SIZE, UNLESS OTHERWISE NOTED. ALL ASTM A-307 BOLTS SHALL BE PROVIDED WITH LOCK WASHERS UNDER NUTS OR SELF-LOCKING NUTS.

A325

- 33. ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END, UNLESS OTHERWISE NOTED.
- 34. COATINGS AND PROTECTION (WEATHER, FIRE, CORROSION, ETC) SHALL BE AS SPECIFIED BY THE ARCHITECT. GALVANIZED STEEL MEMBERS SHALL CONFORM TO ASTM A-123 AND GALVANIZED STEEL HARDWARE SHALL CONFORM TO ASTM A-153. ALL STEEL NOTED AS GALVANIZED AND ANY STEEL IN GROUND CONTACT OR WITHIN 6" OF GRADE SHALL BE ZINC-PLATED (GALVANIZED) BY THE HOT-DIPPED GALVANIC METHOD (OR PRE-APPROVED EQUIVALENT). EXCEPT WHERE SUCH STEEL IS TO BE FULLY ENCASED IN CONCRETE. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- 35. ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT-LBS AT -20 DEGREES F AND 40 FT-LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.
- 36. NON-SHRINK GROUT FOR STEEL BASE PLATES SHALL BE AN APPROVED NONSHRINK CEMENTITIOUS GROUT CONTAINING NATURAL AGGREGATES DELIVERED TO THE JOB SITE IN FACTORY PREPACKAGED CONTAINERS REQUIRING ONLY THE ADDITION OF WATER. THE MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3000PSI MINIMUM). GROUT SHALL MEET ASTM C1107 REQUIREMENTS. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. APPROVED GROUTS INCLUDE: MASTER BUILDER'S "MASTER FLOW 713", SIKA CORPORATION'S "SIKAGROUT 212", BURKE COMPANY'S "NONFERROUS NONSHRINK GROUT", W.R. MEADOWS CG-86 CONSTRUCTION GRADE GROUT.

WOOD

37. FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS:	(2X & 3X MEMBERS)	HEM FIR NO. 2
JOISTS AND DEAMS.	(2X & 5X MEMDERS)	MINIMUM BASE VALUE, $FB = 850 PSI$
	(4X MEMBERS)	DOUGLAS FIR NO. 2
		MINIMUM BASE VALUE, FB = 1000 PSI
LARGE BEAMS:	(INCL. 6X AND LARGER)	DOUGLAS FIR NO. 1
		MINIMUM BASE VALUE, FB = 1350 PSI
POSTS:	(4X MEMBERS)	DOUGLAS FIR NO. 1
		MINIMUM BASE VALUE, FC = 1300 PSI
	(6X AND LARGER)	DOUGLAS FIR NO. 1
	-	MINIMUM BASE VALUE, FC = 1000 PSI
STUDS, PLATES & MISC. F	RAMING:	HEM FIR NO. 2

38. PLYWOOD SHEATHING SHALL BE APA RATED, GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH PS-1 OR PS-2 AND IBC 2304.7 AND TABLE 2304.7(2). REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

ROOF SHEATHING SHALL BE 19/32" (NOMINAL) WITH SPAN RATING 32/16, UNO. WALL SHEATHING SHALL BE 15/32" (NOMINAL) WITH SPAN RATING 24/0, UNO.

- 39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY, EXPOSED TO WEATHER, OR THAT REST ON EXTERIOR FOUNDATION WALLS AND ARE LOCATED WITHIN 8" OF EARTH, SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. NAILS, SCREWS, BOLTS W/NUTS AND WASHERS, ANCHOR BOLTS, HOLDOWNS AND ANY OTHER STEEL DEVICES IN DIRECT CONTACT WITH THE TREATED WOOD SHALL BE EITHER STAINLESS STEEL OR GALVANIZED PER THE MANUFACTURER TO PREVENT DIRECT CONTACT BETWEEN THE STEEL AND THE TREATED WOOD. TAPED AND PAINTED SEPARATION TECHNIQUES MUST BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND RECEIVE PRIOR APPROVAL FROM THE ARCHITECT AND ENGINEER.
- 40. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR MOST RECENT CATALOG. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS, SCREWS, OR BOLTS IN EACH MEMBER. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS CALLED OUT BELOW. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

41. WOOD FASTENERS A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS: SIZE 

SIZE	LEINGTH	DIAM
8D	2-1/2"	0.131
10D	3"	0.131
12D	3-1/4"	0.148'
16D	3-1/2"	0.162'

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

- B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60-70% OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" DIA AND SMALLER LAG SCREWS. BOLT HOLES SHALL BE A MINIMUM OF  $\frac{1}{32}$ " TO A MAXIMUM OF  $\frac{1}{6}$ " Larger than the bolt DIAMETER. HOLES SHALL BE ACCURATELY ALIGNED IN MAIN MEMBERS AND SIDE PLATES/MEMBERS. BOLTS SHALL NOT BE FORCIBLY DRIVEN.
- C. SDS SERIES WOOD SCREWS CALLED OUT ON PLAN SHALL BE "SIMPSON STRONG-DRIVE" WOOD SCREWS BY SIMPSON STRONG-TIE COMPANY, AND INSTALLED IN STRICT ACCORDANCE TO ICC-ES REPORT ESR-2236. EOUIVALENT SCREWS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THEY HAVE CURRENT ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. LAG SCREWS ARE NOT AN EQUIVALENT SUBSTITUTION. UNLESS NOTED OTHERWISE, A MINIMUM EMBEDMENT OF 2.5 INCHES SHALL BE PROVIDED.
- 42. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:
- A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE IBC, THE AITC "TIMBER CONSTRUCTION MANUAL", AND THE AF&PA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE IBC. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.
- B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. 4X8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS IN STRUCTURAL WALLS, UNLESS OTHERWISE NOTED. NAIL MULTI-MEMBER HEADERS WITH (2) ROWS OF 10D NAILS @ 12"O.C. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE AND BOTTOM PLATE TO EACH STUD WITH (3) 10D NAILS. FACE NAIL DOUBLE TOP PLATE WITH 10D @ 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE (12) 10D NAILS @ 4" O.C. EACH SIDE JOINT. AT TOP PLATE INTERSECTIONS PROVIDE (3) 10D FACE NAILS.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH (2) ROWS OF 12D NAILS @ 16" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. THERE SHALL BE A MINIMUM OF (2) BOLTS PER PLATE SECTION WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END OF THE PLATE SECTION. INDIVIDUAL MEMBERS OF BUILT- UP POSTS SHALL BE NAILED TO EACH OTHER WITH (2) ROWS OF 10D @ 16" O.C., STAGGERED. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING WITH #6 X 1-1/4" TYPE S OR W SCREWS @ 12"O.C. PROVIDE 1/2" (NOMINAL) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), AND TOP AND BOTTOM PLATES WITH 8D NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8D NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS. TOENAIL TIMBER JOISTS TO SUPPORTS WITH (3) 10D NAILS AND NAIL TJI JOISTS TO SUPPORTS WITH (2) 10D NAILS. ATTACH JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH (2) ROWS OF 10D NAILS @ 12" O.C. STAGGERED. TOENAIL RIM JOIST TO TOP PLATE WITH 10D @ 6"OC. TOENAIL BLOCKING BETWEEN JOISTS TO TOP PLATE WITH (3) 10D NAILS.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS @ 6" O.C. TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND WITH 8D NAILS @ 12"O.C.TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 10D NAILS @ 12" O.C. WITH MINIMUM OF (2) 10D NAILS PER BLOCK UNLESS OTHERWISE NOTED.

- 43. NOTCHES AND HOLES IN WOOD FRAMING:
- A. SAWN LUMBER JOISTS AND RAFTERS: NOTCHES AT THE ENDS OF JOISTS SHALL NOT EXCEED 1/4 THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/2 THE JOIST DEPTH, BE LONGER THAN <sup>1</sup>/<sub>3</sub> THE JOIST DEPTH, OR BE LOCATED IN THE MIDDLE <sup>1</sup>/<sub>3</sub> OF SPAN. HOLES SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF THE JOIST AND THE DIAMETER SHALL NOT EXCEED 1/2 THE JOIST DEPTH. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL BE LOCATED A MINIMUM OF 2" FROM ANY NOTCH.
- B. EXTERIOR AND BEARING WALLS: WOOD STUDS ARE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 1/4 OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40% OF THE STUD WIDTH IS PERMITTED IN WOOD STUDS. HOLES SHALL NOT BE WITHIN 🔏 " TO THE EDGE OF THE STUD. SPACING BETWEEN HOLES SHALL BE A MINIMUM OF (2) TIMES THE DIAMETER OF THE LARGEST HOLE OR 2" AND SHALL NOT BE LOCATED AT THE SAME SECTION AS A NOTCH.
- C. CUTS, NOTCHES, AND HOLES IN MANUFACTURED LUMBER, PREFABRICATED PLYWOOD WEB JOISTS, AND PREFABRICATED TRUSSES ARE PROHIBITED EXCEPT WHERE NOTED ON STRUCTURAL PLANS OR PERMITTED BY MANUFACTURER'S RECOMMENDATIONS.

44. STAIR AND STAIR LANDING FRAMING REQUIREMENTS 4'-0" MAX WIDTH UNLESS NOTED OTHERWISE

LANDINGS: SPAN 2X6 JOISTS AT 16" OC IN SHORT DIRECTION OF LANDING. AT FULL HEIGHT WOOD STUDS, PROVIDE 2X6 CONTINUOUS LEDGER W/ (3) 0.131 X 3-1/4" NAILS TO EACH STUD. AT CONCRETE WALLS, PROVIDE TREATED 2X6 CONTINUOUS LEDGER W/ 5/8" DIAMETER ANCHOR RODS AT 16"OC, EMBED 5". WHERE LANDING EDGE IS NOT SUPPORTTED BY BEAM, FULL HEIGHT STUD WALL, OR FULL HEIGHT CONCRETE WALL, PROVIDE 2X4 AT 16"OC CRIPPLE WALL FROM LANDING EDGE TO SLAB ON GRADE BELOW.

STRINGERS 9'-0" IN LENGTH OR LESS: PROVIDE 2X12 STRINGERS AT CENTER AND SIDES OF STAIR. NOTCH TO 5-1/2" MINIMUM DEPTH AND PROVIDE HUS 26 HANGERS TO SUPORTING BEAMS. AT CENTER STRINGER, SISTER 2X6 EA SIDE OF STRINGER AND AT SIDE STRINGERS, SISTER 2X6 ONE SIDE OF STRINGER. END SISTERED 2X6 'S SHORT OF HANGERS.

WHERE STRINGERS BEAR ON TOP OF WOOD FLOOR FRAMING BELOW, PROVIDE (2) LS70 CLIP AT BOTTOM OF STRINGER. WHERE STRINGERS BEAR ON CONCRETE SLAB, PROVIDE 2X TREATED SILL PLATE W/ 5/8" EXPANSION BOLT AT EACH STRINGER (EMBED 3-1/8").

EXTERIOR STAIR APPLICATIONS SHALL CONSIST OF TREATED LUMBER.

# SUNDBERG **KENNEDY** LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130 P.O. Box 28809 | Seattle, WA 98118 roi@roichstructural.com | 206.745.2967 Official Stamps: S  $\mathbf{O}$ Ţ. ž പ -S d) **b** 80 tea es. **O** Seat ہ T amily Ave Sou LL F ng 8 NO. ல் ப RC RC 9/2 Ö Ζ RA STRU ERAL Z Ш

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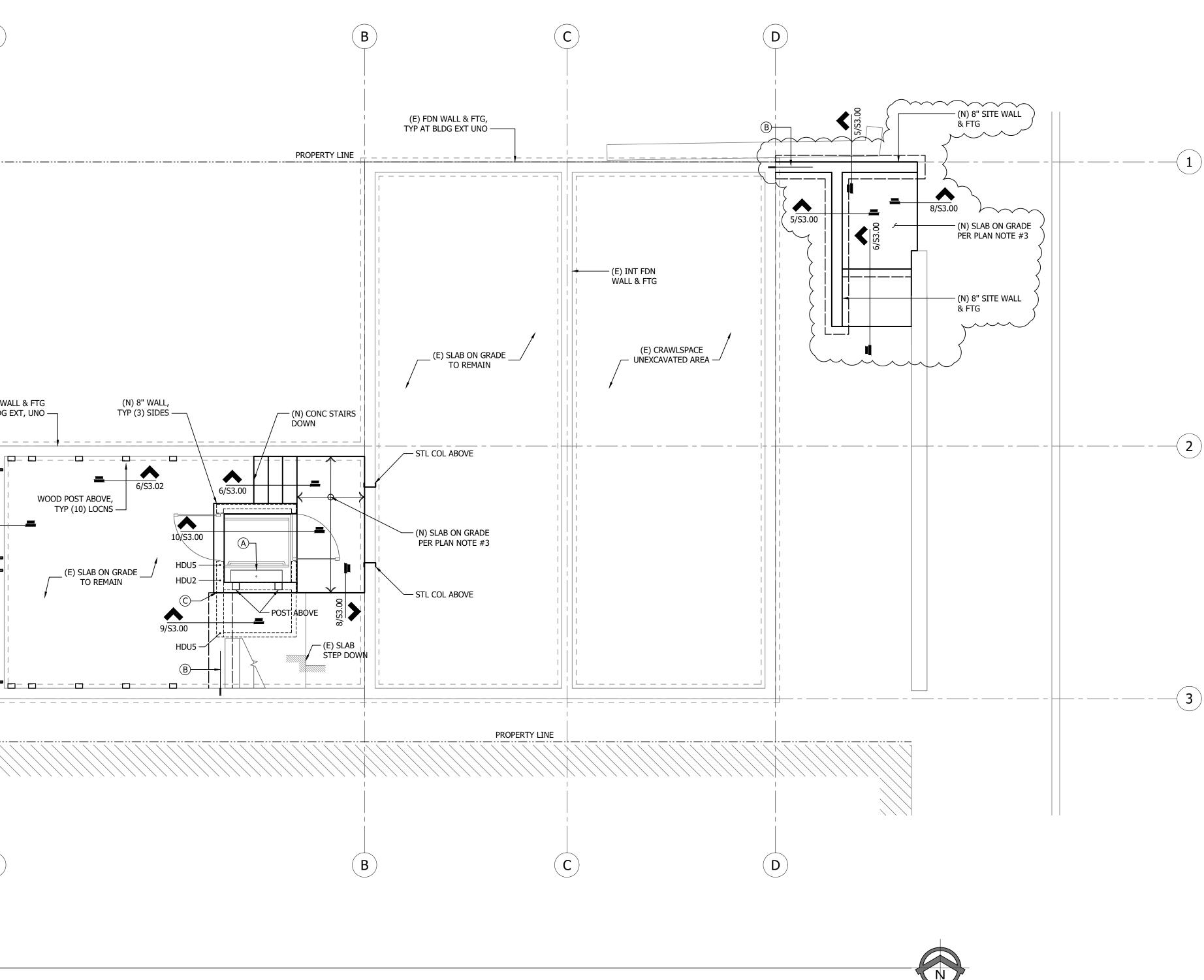
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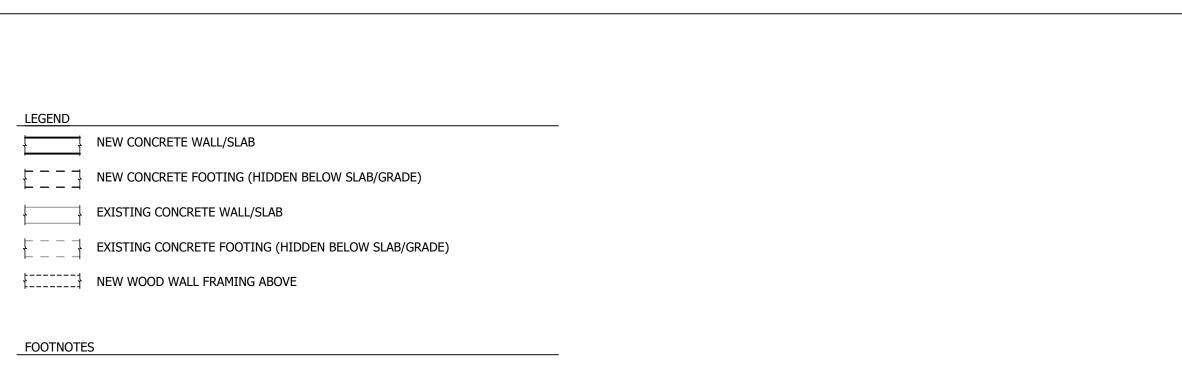
### FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISH GRADES, AND TOP OF WALL ELEVATIONS.
- 2. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 3. TYPICAL SLAB ON GRADE SHALL BE 4" THICK. REINFORCE w/ #4 BARS @ 18"oc. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL.
- 4. ALL FOOTINGS MUST BE CENTERED ON LOADS ABOVE AND PLACED ON FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. BOTTOM OF ALL NEW FOOTINGS SHALL BE 18" MINIMUM BELOW ADJACENT GRADE, UNO. REFER TO FOOTING SCHEDULE FOR SIZE AND REINFORCEMENT REQUIREMENTS AT ALL PAD FOOTINGS.
- 5. HD\_\_ INDICATES HOLD-DOWN AT END OF SHEAR WALL ABOVE.
- 6. REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

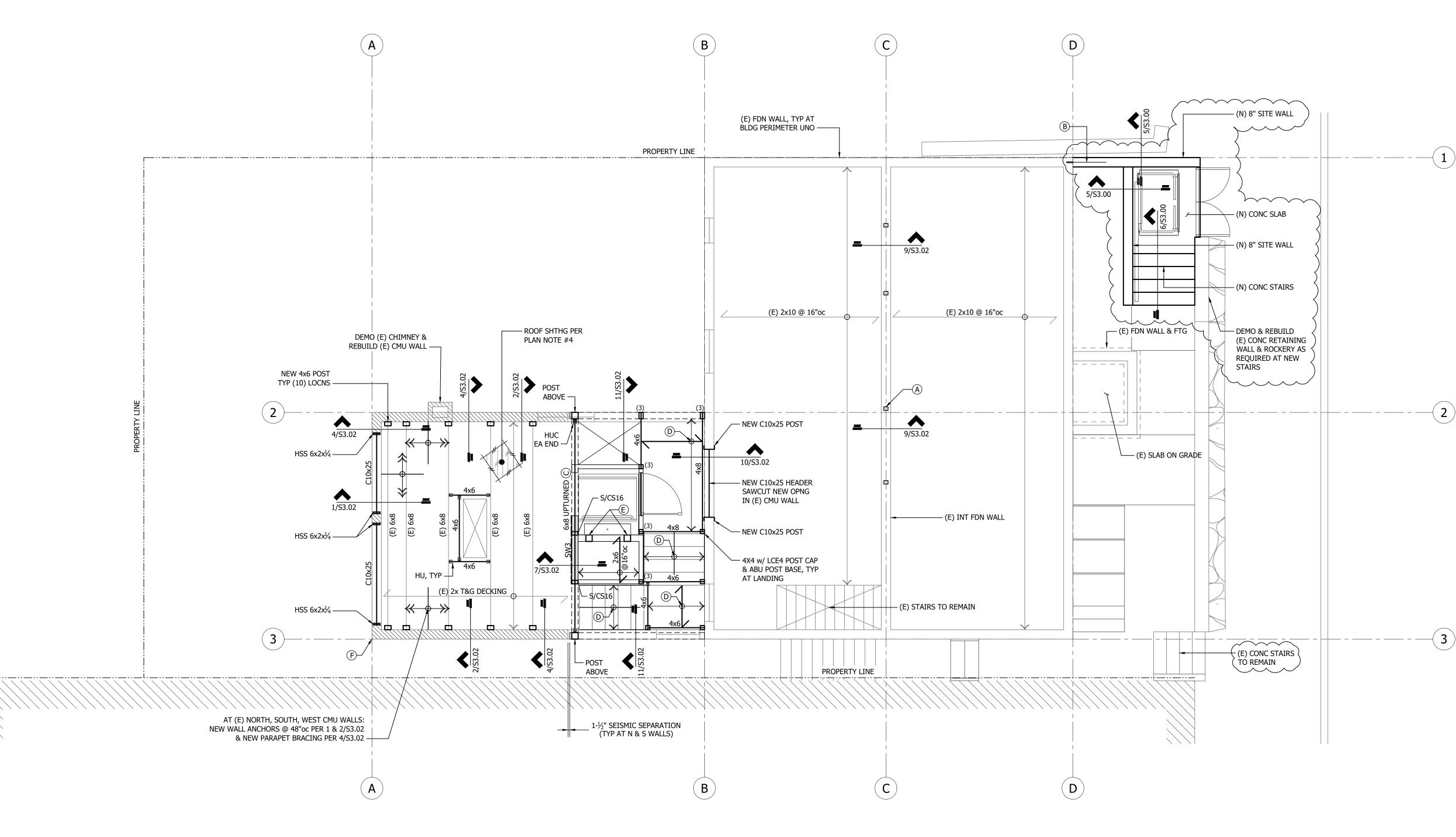




- (A) REFERENCE ARCH DWGS & LIFT MANUFACTURER SPECS FOR ALL DIMENSIONS, SOIL PLACEMENT/COMPACTION, AND INSTALLATION REQUIREMENTS. LIFT MANUFACTURER TO PROVIDE FINAL SITE SPECIFIC SHOP DRAWINGS FOR DESIGN COORDINATION AND APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION. PROVIDE NEW #4 x 2'-2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW (B)
- WALL FOOTING REINFORCING PER 7/S3.00. C STEPPED FOOTING W/ ADDITIONAL BENT DOWELS BETWEEN CONTINUOUS FOOTING AND LIFT WALL FOOTING PER DETAIL 11/S3.00.

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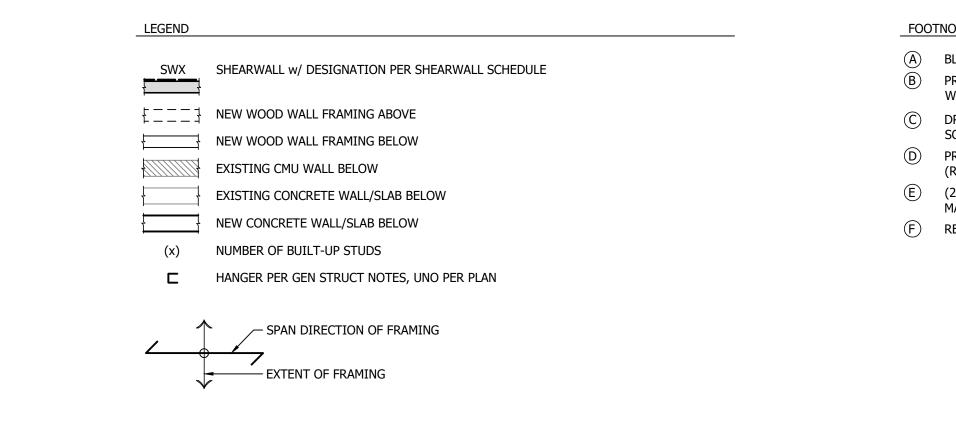


## LOWER ROOF / FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

LOWER ROOF / FLOOR FRAMING PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- 2. PLAN INDICATES FRAMING AT ROOF/FLOOR LEVEL AND WALLS/POSTS BELOW.
- 3. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 4. PROVIDE 19/32" APA RATED SHEATHING (32/16) OVER EXISTING ROOF DECKING. ATTACH SHEATHING WITH **8d x 1-½" NAILS @ 6"OC** TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12"OC TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO EXISTING ROOF DECKING DIRECTION, STAGGER PANEL JOINTS.
- 5. ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- 6. PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE.
- 7. S\_\_ INDICATES HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE.
- 8. REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.



#### FOOTNOTES

- (A) BLOCKING TO ALIGN w/ POST ABOVE PER 9/S3.02.
- B PROVIDE NEW #4 x 2'-2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW WALL & FOOTING REINFORCING PER 7/S3.00.
- $(\widehat{C})$  DRAG STRUT ATTACH EXISTING DECKING TO BEAM ABOVE WITH SDS  $\frac{1}{4}$  x 8 SCREWS @ 24"oc OVER FULL LENGTH OF MEMBER.
- PROVIDE STAIR AND LANDING FRAMING PER GENERAL STRUCTURAL NOTE #44 (REFER TO SHEET S1.00)
- (E) (2) 6x6 FULL HEIGHT POST w/ (2) A35 TOP & BOTTOM. LOCATE PER LIFT MANUFACTURE SPECS.
- (F) REPAIR EXISTING MASONRY AS REQUIRED PER GENERAL STRUCTURAL NOTE #19.



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## UPPER ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

UPPER ROOF FRAMING PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- 2. PLAN INDICATES FRAMING AT ROOF LEVEL AND WALLS/POSTS BELOW.
- 3. EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- 4. NEW ROOF SHEATHING SHALL BE 19/32" APA RATED SHEATHING (32/16). ATTACH SHEATHING WITH 8d NAILS @ 6"OC TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12"OC TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOIST FRAMING DIRECTION, STAGGER PANEL JOINTS.
- 5. ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- 6. PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE. TYPICAL HEADERS OVER DOOR AND WINDOW OPENINGS (**HDR**) SHALL BE 4x6 MIN EXTERIOR, (2)2X6 MIN INTERIOR. UNLESS NOTED OTHERWISE, PROVIDE (1) FULL HEIGHT (KING) STUD AND (2) BEARING (TRIMMER) STUD AT EACH END OF BEAM/HEADER. NAIL MULTIPLE STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- 7. PROVIDE SIMPSON HARDWARE PCZ/EPCZ COLUMN TO BEAM CONNECTIONS, TYPICAL UNO. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION.
- 8. TYPICAL STUD WALLS SHALL BE 2x6 @ 16"oc AT EXTERIOR WALLS AND 2x4's OR 2x6's @ 16"oc AT INTERIOR WALLS PER ARCH DRAWINGS, UNLESS NOTED OTHERWISE.
- 9. REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

WINDOW OPENINGS.

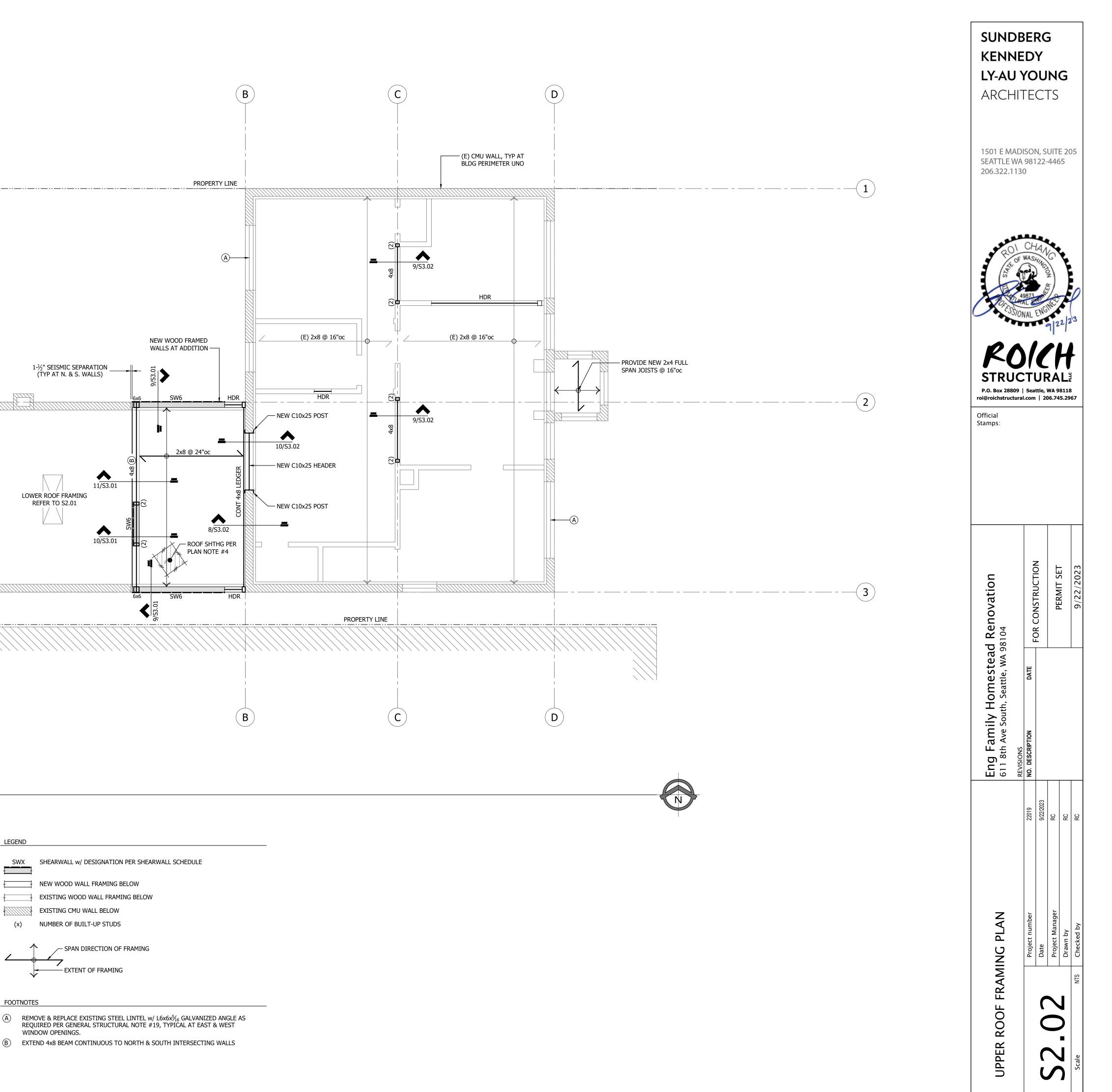
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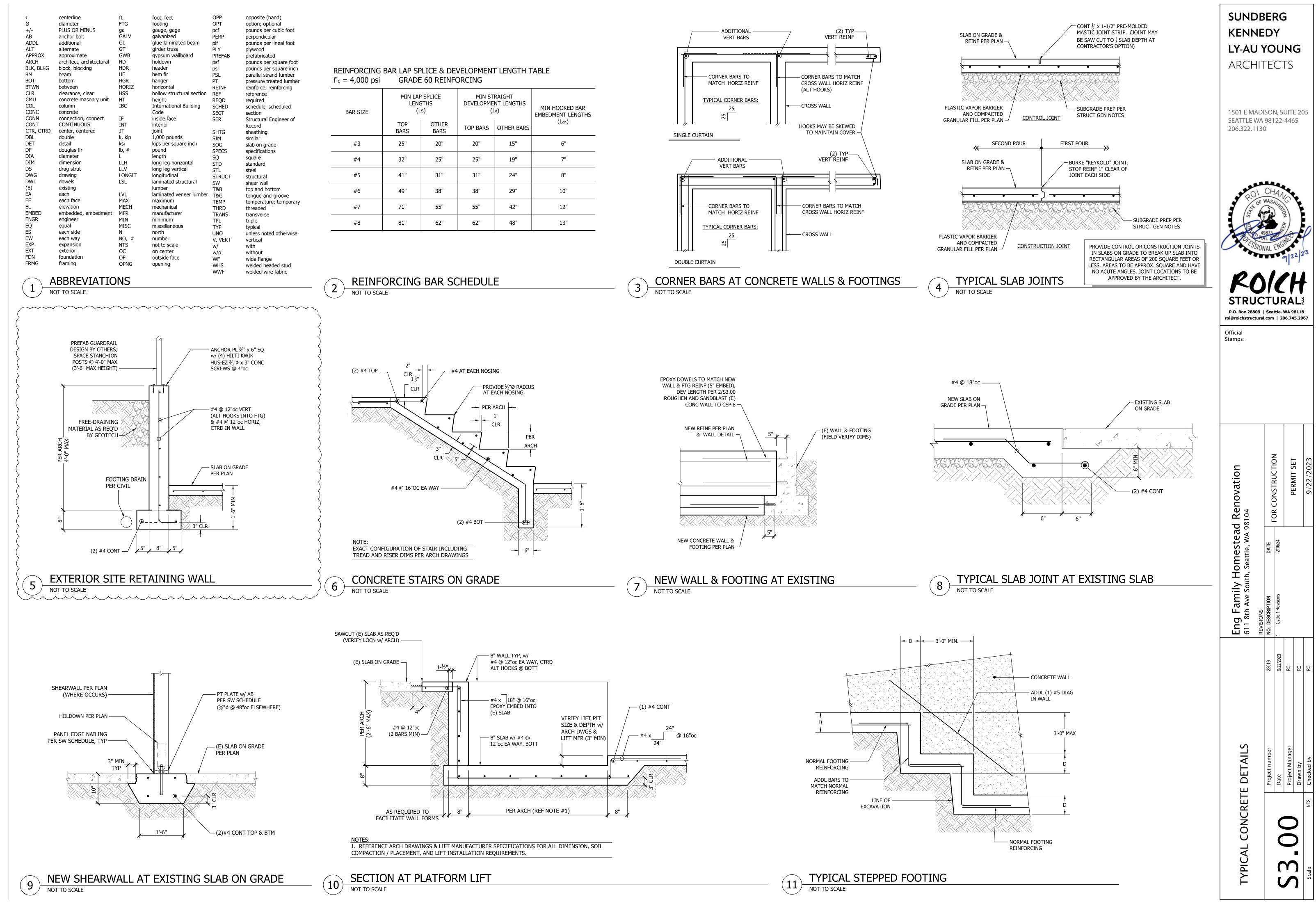
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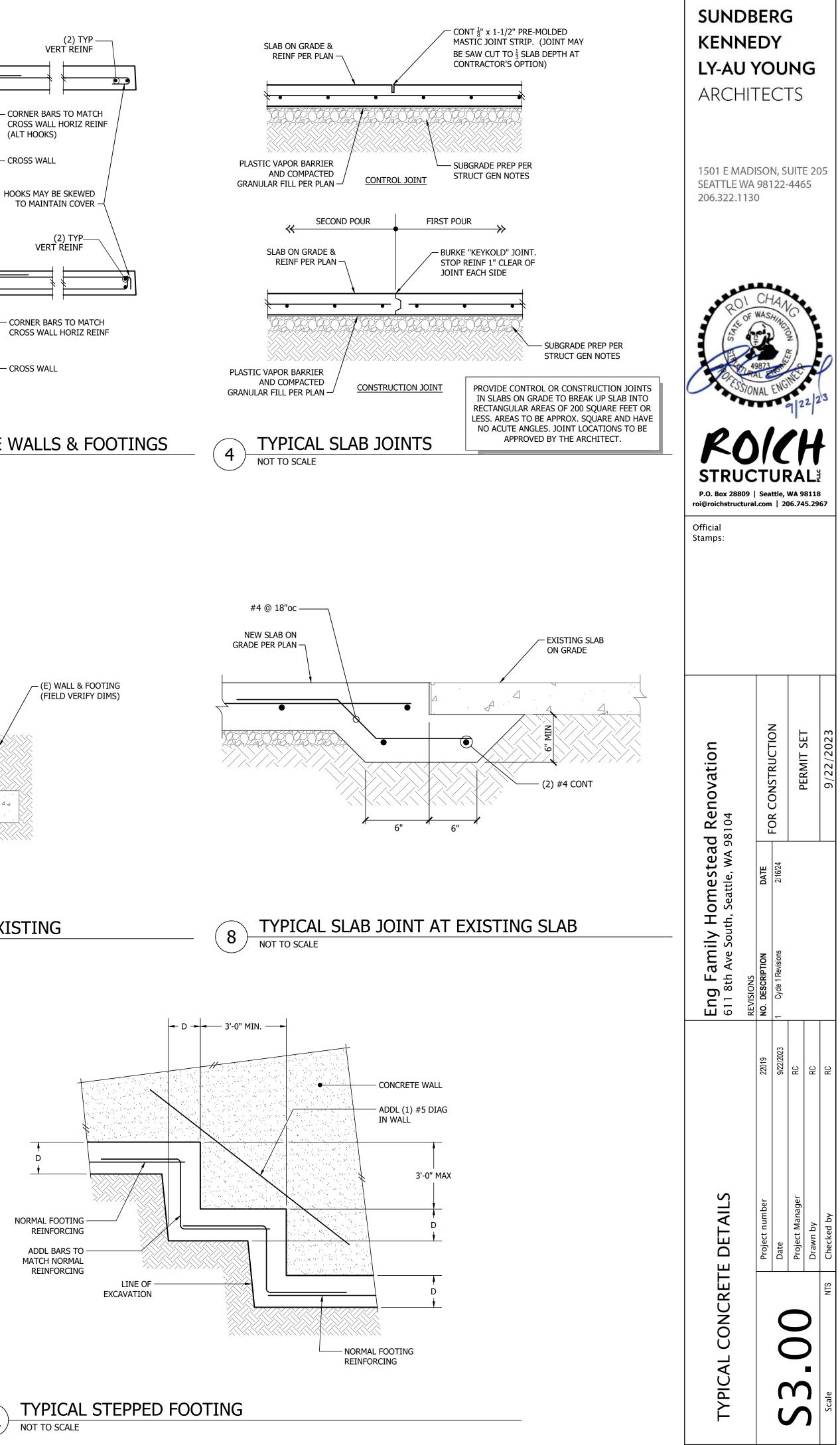
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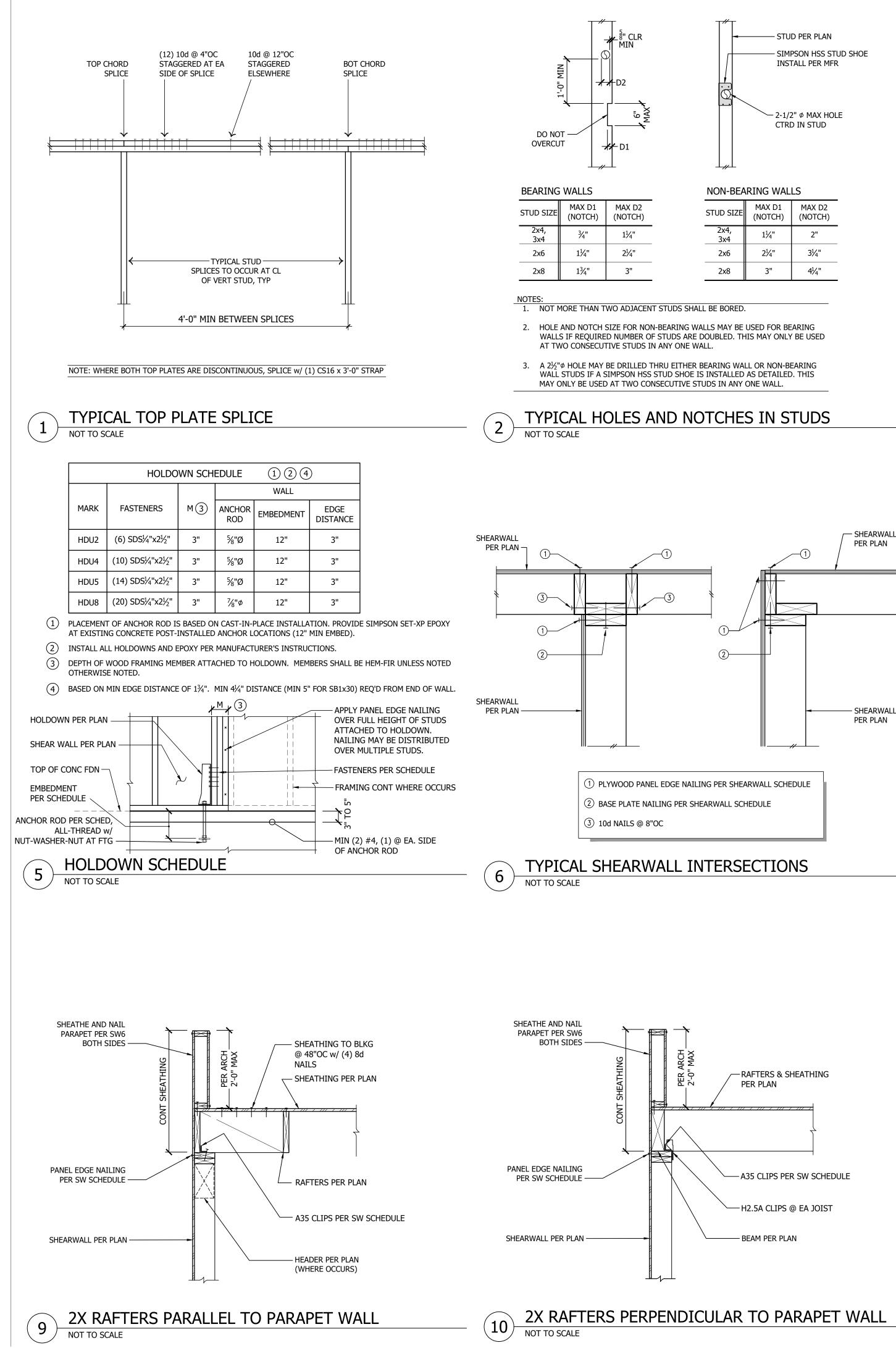
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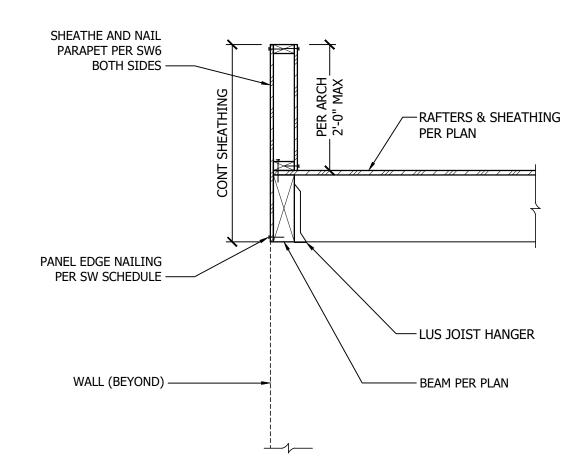




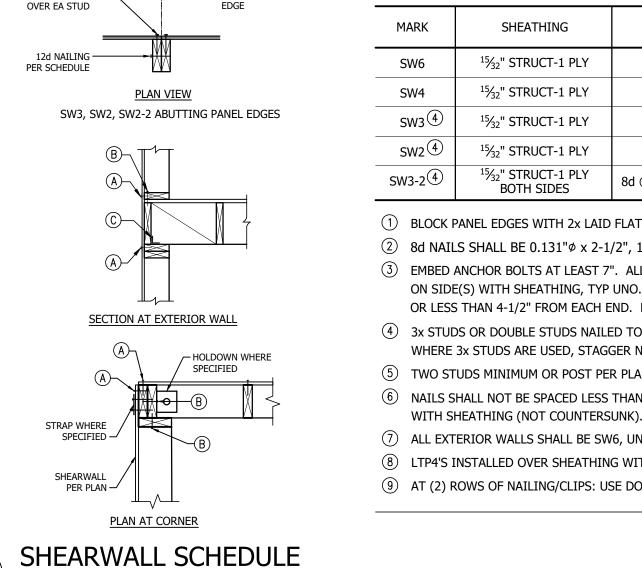


N LAP SPLICE LENGTHS (Ls)		MIN STRAIGHT DEVELOPMENT LENGTHS (Ld)		MIN HOOKED BAR EMBEDMENT LENGTHS
	OTHER BARS	TOP BARS	OTHER BARS	(Ldh)
	20"	20"	15"	6"
	25"	25"	19"	7"
	31"	31"	24"	8"
	38"	38"	29"	10"
	55"	55"	42"	12"
	62"	62"	48"	13"





11 2X RAFTERS PERPENDICULAR TO EDGE BEAM NOT TO SCALE



SHEARWALL SCHEDULE 123567						
MARK	MARK SHEATHING PANEL EDGE TOP PLATE CONNECTION		$\sim$	BASE PLATE CONNECTION		
		NAILING A	IF TJI	IF 2X OR LSL ①	AT WOOD B	AT CONCRETE
SW6	<sup>15</sup> / <sub>32</sub> " STRUCT-1 PLY	8d @ 6"OC	10d @ 6"OC	A35 @ 24"OC	12d @ 6"OC	5⁄8"ø AB @ 48"OC
SW4	<sup>15</sup> / <sub>32</sub> " STRUCT-1 PLY	8d @ 4"OC	10d @ 4"OC	A35 @ 16"OC	12d @ 4"OC	5∕8"ø AB @ 32"OC
SW3	<sup>15</sup> / <sub>32</sub> " STRUCT-1 PLY	8d @ 3"OC	(2) ROWS 10d @ 6"OC	A35 @ 12"OC	(2) ROWS 12d @ 6"OC <sup>(9)</sup>	5∕8"ø AB @ 16"OC
SW2	<sup>15</sup> / <sub>32</sub> " STRUCT-1 PLY	8d @ 2"OC	(2) ROWS 10d @ 4"OC	A35 @ 10"OC	(2) ROWS 12d @ 4"OC <sup>(9)</sup>	5∕8"ø AB @ 12"OC
SW3-24	<sup>15</sup> / <sub>32</sub> " STRUCT-1 PLY BOTH SIDES	8d @ 3"OC, EA SIDE	(2) ROWS 10d @ 3"OC	A35 @ 8"OC	(2) ROWS 12d @ 3"OC <sup>(9)</sup>	5⁄8"∅ AB @ 12"OC
<ol> <li>BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d NAILS @ 12"OC.</li> <li>8d NAILS SHALL BE 0.131"\$\u03c8 x 2-1/2", 10d NAILS SHALL BE 0.131"\$\u03c8 x 3", AND 12d NAILS SHALL BE 0.148"\$\u03c8 x 3-1/4".</li> <li>EMBED ANCHOR BOLTS AT LEAST 7". ALL BOLTS SHALL HAVE 3"x3"x1/4" PLATE WASHERS, THAT SHALL EXTEND TO WITHIN 1/2" OF EDGE OF BOTTOM PLATE ON SIDE(S) WITH SHEATHING, TYP UNO. EACH MUDSILL SHALL HAVE A MINIMUM OF (2) ANCHOR BOLTS WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END. PROVIDE SIMPSON SET-XP EPOXY ANCHORS AT EXISTING CONCRETE WITH 12" EMBEDMENT.</li> <li>3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASEPLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF SW3, SW2, AND SW2-2.</li> </ol>						
WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES. ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL AT SWS2-2.						
6 NAILS S	(6) NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH					

# 4. PROVIDE A35 CLIPS AT TOP & BOTTOM OF KING STUD FOR EXTERIOR OPENINGS 5'-0" OR OVER IN LENGTH.

TYPICAL BEAM HEADER

3

7

NOT TO SCALE

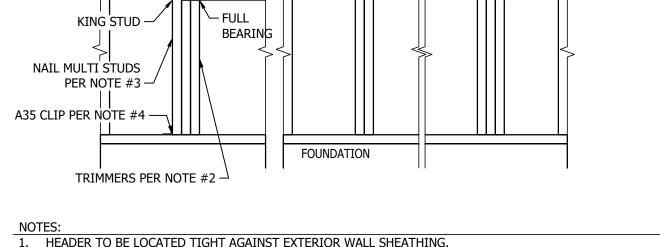
NOT TO SCALE

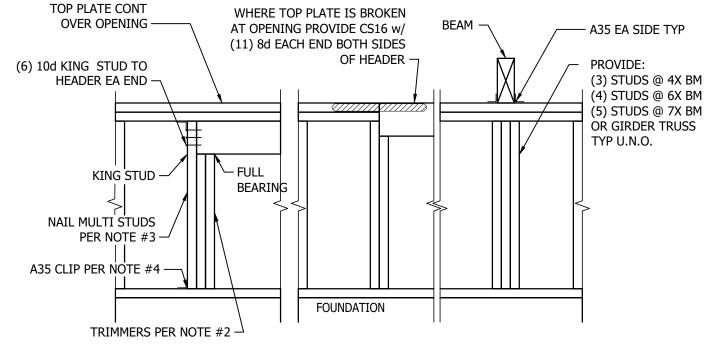
EDGE NAILING -

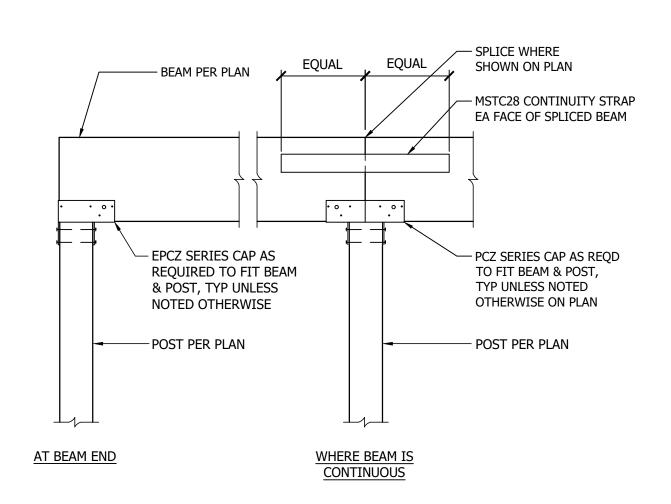
- SHEATHING

- 3. MULTI-STUDS SHALL BE NAILED TO EACH OTHER WITH (2) ROWS OF 10d NAILS @ 16"oc, STAGGERED.

2. PROVIDE MINIMUM (2) BEARING TRIMMER STUDS AT ENDS OF ALL HEADER / BEAMS 5'-0" OR OVER IN LENGTH.







1. AT VARIED BEAM SIZES, PROVIDE SOLID FULL DEPTH SHIM TO EXTEND MIN 3" BEYOND CAP. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

4

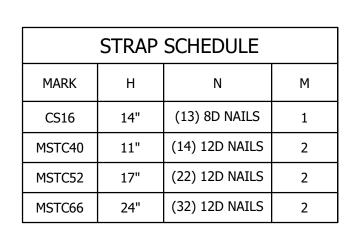
TYPICAL WOOD BEAM TO WOOD COLUMN NOT TO SCALE

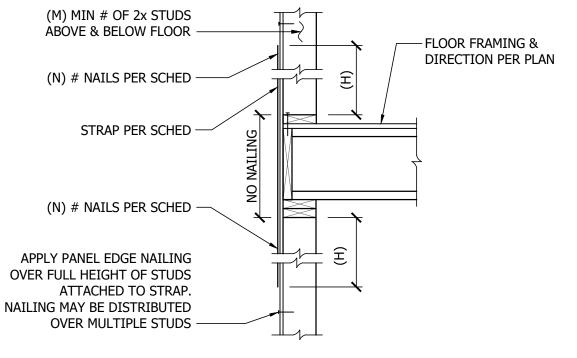
### (1)(2)(3)(5)(6)(7)

(7) ALL EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.

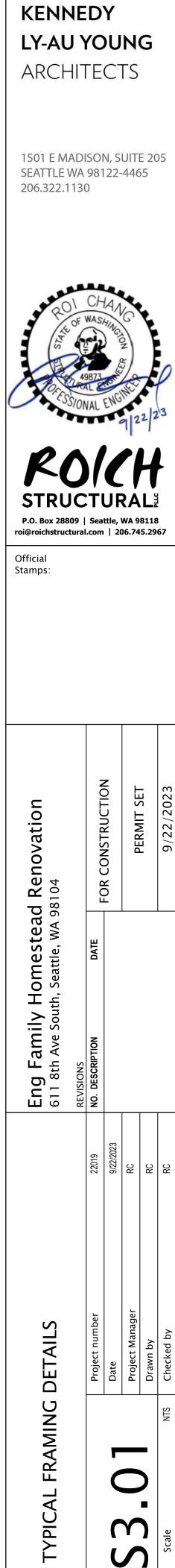
(8) LTP4'S INSTALLED OVER SHEATHING WITH 8d NAILS MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.

(9) AT (2) ROWS OF NAILING/CLIPS: USE DOUBLE RIM, JOIST OR BLOCKING.

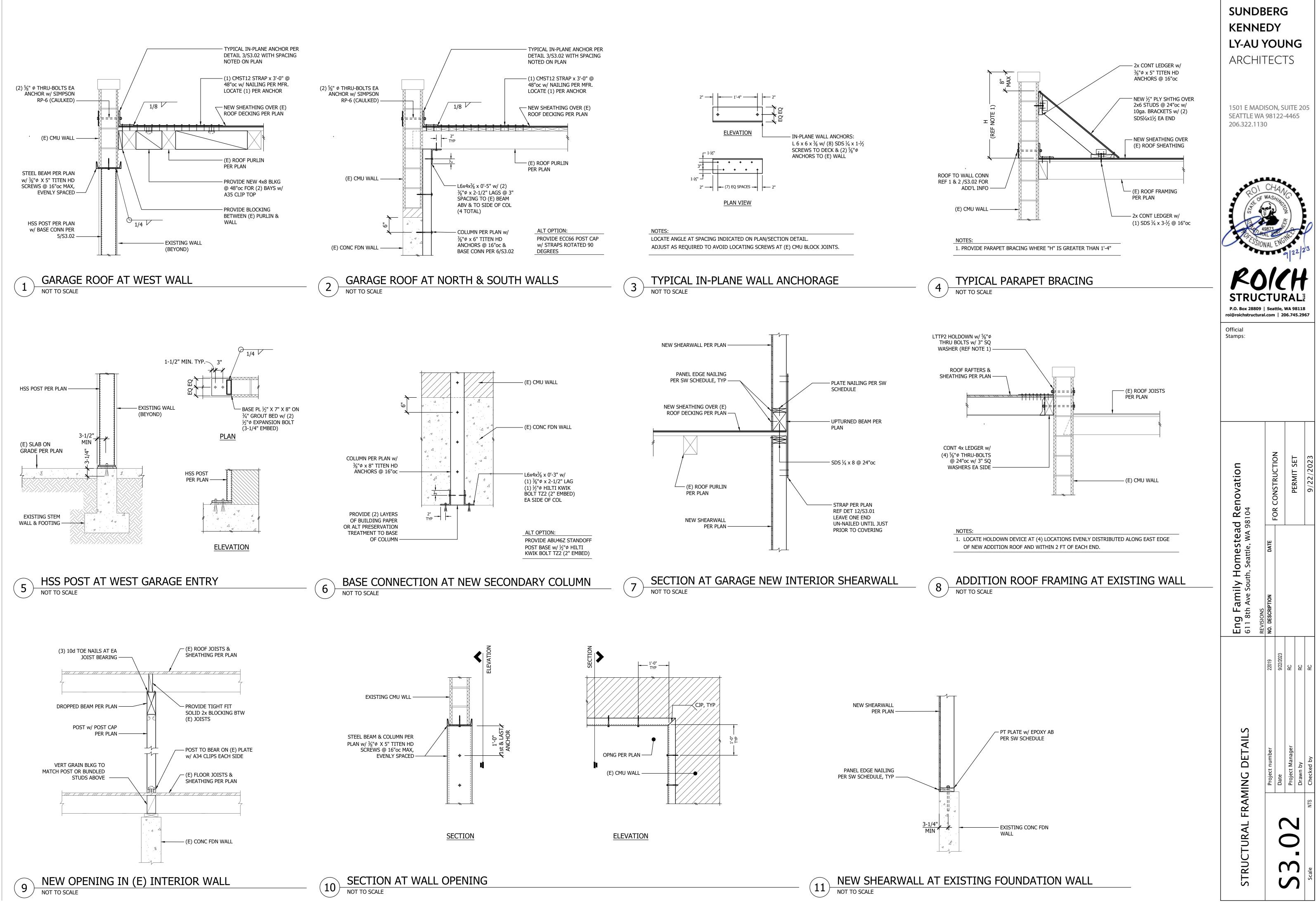




FLOOR-TO-FLOOR STRAP SCHEDULE (12)-



**SUNDBERG** 



#### LIGHTING FIXTURE SCHEDULE

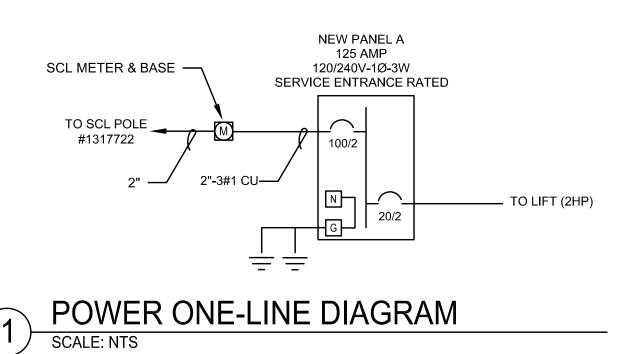
ТҮРЕ	LAMP	LUMEN OUTPUT	ССТ	MINIMUM CRI	MANUFACTURER	
GL-1	LED 11W	650 LUMENS	3500K	80	HYDREL: ASPEN ASPEN-A-P1-80CRI-35K-120-40DEG- FLC-L3C3	ALUMINUM LONGER TH SPREAD, AN PROVIDE AI REQUIRED.
PL-1	LED 6W/FT	625 LM/FT	3500K	80 CRI	FOCAL POINT: SEEM2 FSM2LS-FL-625LF-35 COOPER: DEFINE 3 S123DP-H-650D-8-35 ACUITY: SLOT 2 S2PD-LLP-80-35-650-80	2.5" WIDE L OPTICS ANI
TL-0					WAC: W TRACK	SURFACE M SYSTEM, DL ACCESSORI COMPLETE
TL-1	LED 22W		3500K	80 CRI	WAC: PALOMA WTK-4023-830	LED CYLIND ADJUSTABL HORIZONT FIXTURE TO ANGLE 20°
WL-1	LED 15W	1800 LUMENS	3500K	80 CRI	ACUITY: WEDGE1 WDGE1-P2-35-80-VF-PE	WET LOCAT FORWARD PHOTOCELI SENSOR.
WL-2	LED		3500K		BARN LIGHTING: LED ORIGINAL BLE-G-WHS16-NA-LED27-35K	WALL MOU "GOOSENE( PROVIDE W AND GOOSI
WL-3	LED		3500K	80 CRI	ACUITY: WPX0 LED WPX0-ALO3-SWW2-PE	WET LOCAT DISTRIBUTI CIRCUIT WI
SL-1	LED 20W	2000 LUMENS	3500K	80 CRI	GOTHAM: EVO EVO4SC-35-20-BR-LD-MD PRESCOLITE: LTC-4RDW	SURFACE M WITH DIFFL
X	LED				DUAL LITE: SE-G-I CHLORIDE: CE-11300-55L3G LITHONIA: LE	SELF-DAIGN CAST LED E PROVIDE AI REQUIRED. SHOWN ON ARCHITECT

EQUALS ACCEPTABLE AS APROVED BY ARCHITECT & ENGINEER.

PROVIDE EMERGENCY BATTERY BACK UP FOR FIXTURES WITH "E" DESIGNATION; SEE PLANS.

ALL COLORS, FINISHES, ETC ARE BY ARCHITECT.

MOUNTING HEIGHTS PER ARCHITECTURAL ELEVATIONS.



#### DESCRIPTION

JM ACCENT LIGHT WITH HEAD NO THAN 9". PROVIDE WITH 40° BEAM AND CUT-OFF CAP. WET LOCATION. ALL MOUNTING ACCESSORIES D. FINISH PER ARCHITECT.

E LINEAR LED PENDANT DIRECT ND FLUSH DIFFUSED LENS.

MOUNTED ALUMINUM TRACK DUAL CIRCUIT. PROVIDE ALL RIES AND COMPONENTS FOR A TE SYSTEM. COLOR PER ARCHITECT.

NDER TRACK HEAD WITH BLE MOUNT, ALLOWING FOR 300° NTAL AND 90° VERITCAL AIMING. TO ALLOW FOR ADJUSTABLE BEAM )° TO 45°.

ATION LED WALL PACK WITH D THROW AND INTEGRAL ELL. CIRCUIT WITH OCCUPANCY

DUNTED EXTERIOR SCONCE WITH NECK" ARM AND INTEGRAL LED. WITH 16" SHADE. MATERIAL, FINISH DSENECK OPTION PER ARCHITECT.

CATION LED WALL PACK WITH WIDE TION AND INTEGRAL PHOTOCELL. WITH OCCUPANCY SENSOR.

MOUNTED 4" ROUND CYLINDER FUSED LENS.

SNOSTIC CEILING/SIDE-MOUNT DIE EXIT SIGN WITH BATTER BACKUP. ALL MOUNTING ACCESSORIES D. PROVIDE ARROWS AND FACES AS ON DRAWINGS. FINISH PER



DISCONNECT SWITCH, +66"

JJJ JUNCTION BOX

KITCH. APPLIANCES

FUSED DISCONNECT SWITCH, +66"

CONDUIT CONCEALED IN CEILING OR WALLS

- ------ CONDUIT CONCEALED UNDERGROUND, UNDER FLOOR, OR IN WALL HOME RUN TO DESTINATION INDICATED. 1" MINIMUM UNLESS NOTED OTHERWISE. RECESSED LIGHT FIXTURE, LETTERS DENOTE SWITCHING, PROVIDE BALLASTS ACCORDINGLY. • SURFACE OR PENDANT MOUNTED LIGHT FIXTURE SURFACE OR PENDANT MOUNTED FLUORESCENT FIXTURE **⊘ ○ ○** RECESSED LIGHT FIXTURE ₩ WALL MOUNTED FIXTURE LIGHT TRACK ➢ WALL MOUTED SPOT/FLOOD LIGHT ☑ WALL SCONCE FIXTURE EXIT SIGN LIGHT FIXTURE TYPE X, EXCEPT AS NOTED **\$** WALL SWITCH, 1-POLE (SWITCH LEG INDICATED WHERE REQUIRED), +48" S DIGITAL SWITCH, +48" S WALL SWITCH WITH INTEGRAL OCCUPANCY SENSOR, +48" OS OCCUPANCY SENSOR OCCUPANCY SENSOR WALL MOUNT PC PHOTO CELL PHOTO CELL WALL MOUNT CTL LIGHTING CONTROLLER XXX XXXX LIGHTING FIXTURE TYPE DESIGNATOR, SEE LIGHT FIXTURE SCHEDULE DUPLEX RECEPTACLE, +18" DUPLEX RECEPTACLE ABOVE COUNTER DOUBLE DUPLEX RECEPTACLE, +18" DOUBLE DUPLEX RECEPTACLE ABOVE COUNTER WP WEATHERPROOF DUPLEX RECEPTACLE (TYPE WR, GFI TYPE), +18" 1Ø SPECIAL RECEPTACLE AS NOTED, +18" 3Ø SPECIAL RECEPTACLE AS NOTED, +18" RANGE OUTLET, NEMA 14-50R, +18" EQUIPMENT CONNECTION  $\oint$  MOTOR CONNECTION
  - 208 /120 200 200 VOLTS AMPS MCB I PHASE, 4 WIRE, WYE PANEL A LOCATION BASEMENT MOUNTING SURFACE EXIST AIC 42,000 GROUND BUS FED FROM UTILITY UL SERVICE LABEL LOAD KVA CCT NO. CCT NO. CCT BRKR CCT DESCRIPTION DESCRIPTION BRKR RECEPT - EXTERIOR RECEPTS - GARAGE 0.18 0.36 20/1 LIFT 20/1 20/1 SPARE 0.18 RECEPTS - GARAGE LIFT (EXTERIOR) RECEPT - RACK POWER 0.36 40/2 SPARE RECEPT - RACK POWER 0.36 10 20/1 20/1 20/1 20/1 20/1 20/1 20/1 RECEPTS - SERVICE 0.36 12 SPAR RECEPT - BATH RECEPTS - BEDROOM **RECEPTS – BASEMENT** 0.54 14 **RECEPTS - BASEMENT** 0.54 16 RECEPTS - KITCHEN RECEPTS - KITCHEN 0.36 0.18 **RECEPTS - BEDROOM** 18 20 22 24 SPARE RECEPTS - ENTRY 0.54 SPARE LIGHTS MAIN LEVEL LIGHTS BSMNT/GARAGE RANGE 6.60 23 26 20/1 25 28 30 32 20/1 20/1 20/1 20/1 20/1 27 0.00 20/1 LIGHTS EXTERIOR 29 SPARE 0.00 SPACE 0.00 0.00 0.00 SPACE SPACE SPARE 34 36 SPARE SPACE SPARE 35 \*PROVIDE WITH GFCI BREAKER CONNECTED LOAD DEMAND FACTOR DEMAND LOAD KVA | 25% | 00% | 00% | 25% | 00% | 00% LIGHTS 0.00 RECEPTACLES 5.22 HEATING 0.00 LARGEST MOTOR 1.44 OTHER MOTORS 1.44 MISCELLANEOUS 0.00

6.60 14.70

1.44 0.00 6.60 15.06

# LEGEND

- DATA OUTLET (NUMBER = NUMBER OF RJ45 JACKS, NO NUMBER = 1) WITH 1", +18" CONDUIT TO ABOVE CEILING
- DATA OUTLET WITH 1" CONDUIT TO ABOVE CEILING (NUMBER = NUMBER OF RJ45, +18" JACKS, NO NUMBER = 1)
- WAP WIRELESS ACCESS POINT DATA OUTLET, +108" WHEN WALL MOUNTED
- V VIDEO SURVEILLANCE DATA OUTLET AT CAMERA
- ACCESS CONTROL OUTLET AT DOOR CONTROLLER
- REX REQUEST TO EXIT
- REQUEST TO EXIT IN HARDWARE
- CR CARD READER
- DS DOOR SWITCH
- MS MOTION SENSOR MSH MOTION SENSOR WALL MOUNT
- CCTV CAMERA, SEE SCHEDULE
  - K SECURITY KEYPAD, +48" EL ELECTRIC LOCK
  - S SMOKE DETECTOR/SENSOR

  - CO CO DETECTOR
- ----- CIRCUIT BREAKER - 🔨 switch - FUSED SWITCH
- FUSE
  - **GROUNDING PER CODES**
  - BUS TAP
  - 208V OR 240V PANEL
  - 🗂 LVR

\ B ,

- FOIC FURNISHED BY OWNER INSTALLED BY CONTRACTOR
- FOID FURNISHED BY OWNER INSTALLED BY OWNER
- GFI GROUND FAULT CIRCUIT INTERRUPTER
- IG ISOLATED GROUND
- WP WEATHERPROOF
- TR TAMPER RESISTANT

DETAIL INDICATOR WITH SHEET WHERE DRAWN INDICATED

SECTION INDICATOR

**XXXX** AVAILABLE FAULT CURRENT AS INDICATED 1 FLAG NOTE

> MOUNTING REFERENCE ONLY. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING.

LOAD KVA 1.44 0.00 1.44 0.00 0.00 0.18 0.54 0.54 0.00 0.00 0.00 0.00 0.00

AMPS			
0.00 25.10 0.00 8.65 6.92 0.00 31.73			
72.40			

KVA

0.00

5.22

0.00

1.80

SUNDBERG				
KENNEDY				
LY-AU YOUNG				
ARCHITECTS				

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



Travis Fitzmaurice Wartelle Balangue Engineers Inc. 1200 Westlake Ave. N., #509 Seattle, WA 98109

p: 206-285-7228 | info@tf-wb.com

Official Stamps:

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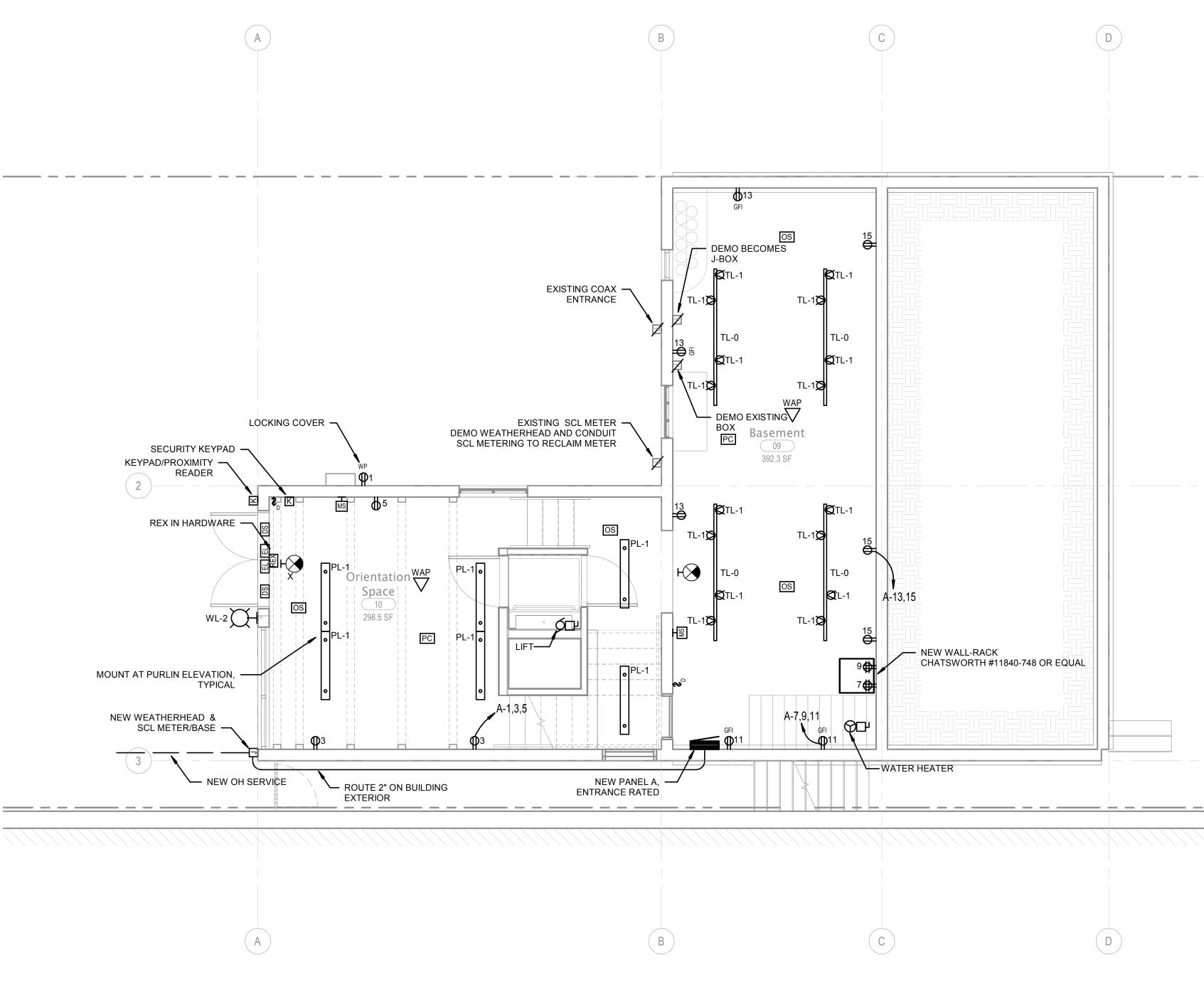
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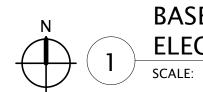
### SHEET NOTES:

1. DEMOLISH ALL ELECTRICAL IN EXISTING BASEMENT.

|

- 2. ALL NEW WIRING AND LOW-VOLT CABLING IN BASEMENT & GARAGE IS TO BE ROUTED IN EMT.
- 3. LIGHTING FIXTURES TO BE LED. PROVIDE LIGHTING CONTROLS IN COMPLIANCE WITH CURRENT SEATTLE ENERGY CODE AND AS SHOWN ON PLAN.
- FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.





BASEMENT & GARAGE PLAN – ELECTRICAL SCALE: 1/4" = 1'-0"

	SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS
	1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130OG.322.1130OFFERSE DENERERS EN GENERERS EN GENERERS EN DENERERS EN GENERERS EN Eattle, WA 98109p: 206-285-7228 ] info@tf-wb.com
1	
	Official Stamps:
2	ad Renovation 98104 NOT FOR CONSTRUCTION ISRD CERTIFICATE OF APPROVAL SET 01/22/2024
3	Eng Family Homestead Renovatio 611 8th Ave South, Seattle, WA 98104 601 8th Ave South, Seattle, WA 98104 no. Description Date NOT FOR CON No. Description Date NOT FOR CON
	CTRICAL 22013 01/22/2024 MF MF/PM
	AGE PLAN – ELEO Project number Date Project Manager Drawn by Checked by
	BASEMENT & GARAGE PLAN – ELECTRICAL BASEMENT & GARAGE PLAN – ELECTRICAL Project number Date Project Manager Drawn by Scale 14 = 1:0" Checked by

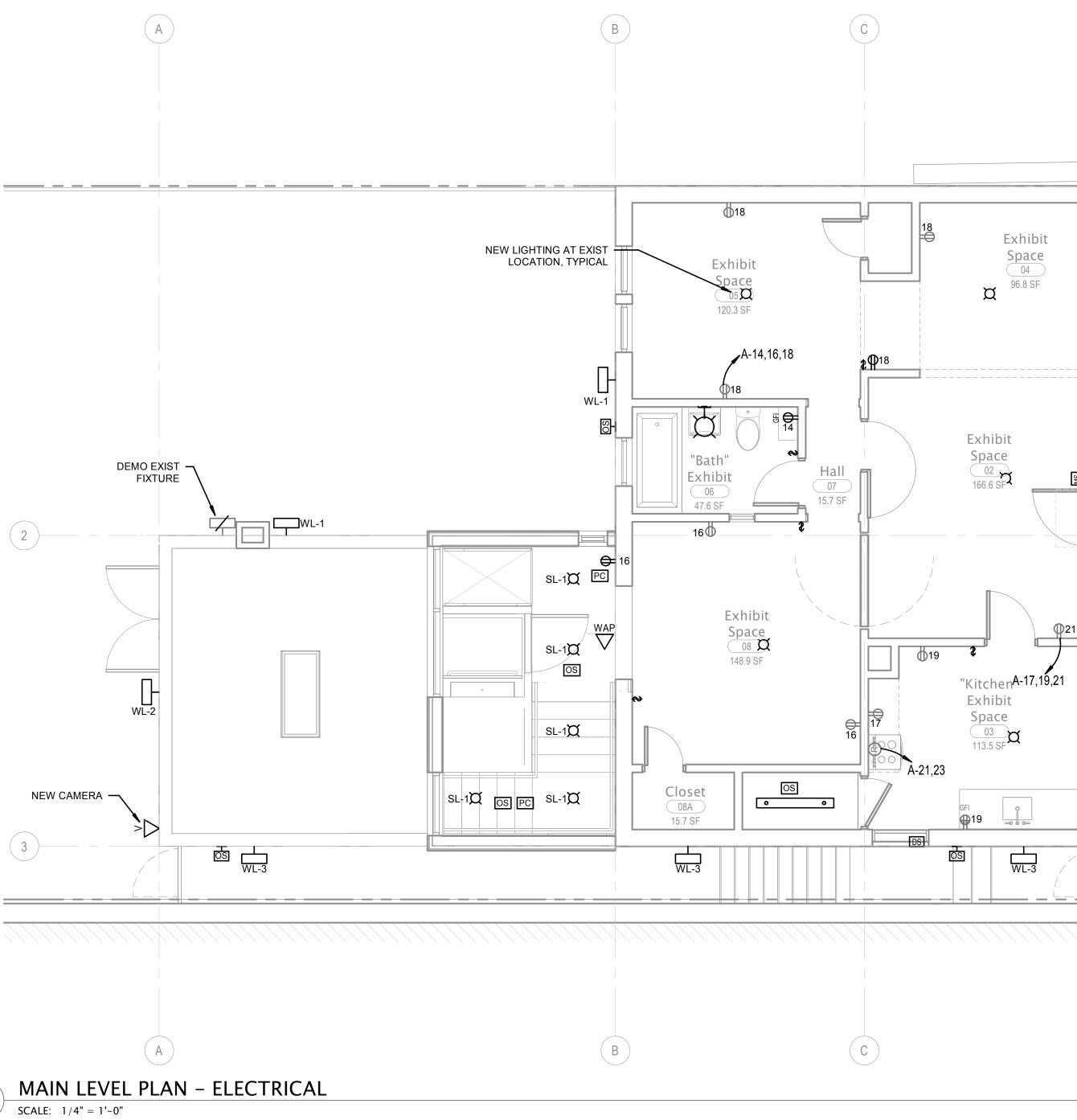
### SHEET NOTES:

- INTENT IS TO REPLACE EXISTING ELECTRICAL IN-PLACE WITH NEW WIRING, DEVICES AND FIXTURES. NEW ELECTRICAL DEVICES WHERE SHOWN.
- 2. NEW RECEPTACLES TO BE TYPE TR.
- 3. ALL WIRING AND CABLING IS TO BE CONCEALED IN WALLS OR CEILINGS.ACCEPTABLE TO FISH CABLING AND FLEX CONDUIT AS NEEDED; RESTORE WALLS AND CEILINGS WHERE DEMO IS NECESSARY.
- LIGHTING FIXTURES TO BE LED. PROVIDE NEW WIRING AND CONTROLS AND SHOWN.
- 5. FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.



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	SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS
	<section-header><section-header></section-header></section-header>
1 SOL LANDSCAPE FACADE LIGHTING AIM AT BUILDING AND EXIST TREE	Official Stamps:
210 Entry 210 210 210 REWIRE EXISTING LIGHT INSTALL NEW SWITCH AT EXIST LOCATION	ead Renovation /A 98104 NOT FOR CONSTRUCTION ISRD CERTIFICATE OF APPROVAL SET 01/22/2024
ØGL-1       ØGL-1       ØGL-1       ØGL-1       ØGL-1	Eng Family Homestead Re 611 8th Ave South, Seattle, WA 98104 REVISIONS NO. DESCRIPTION DATE NO
NEW WIRING/CONDUIT TO EXIST LIGHT LOCATION REWIRE LIGHT	22013 01/22/2024 MF PM/KH Checker
	MAIN LEVEL PLAN – ELECTRICAL MAIN LEVEL PLAN – ELECTRICAL Project number Date Project Manager Drawn by Scale 1 <sup>10</sup> Checked by