



CONCEPTUAL RENDERINGS

Eng Family Homestead Renovation

611 8TH AVE SOUTH, SEATTLE WA 98104

BUILDING PERMIT# 6950431-CN
ISR D RECORD #: DONH-COA-01135

2/1/2024
ISR D CERTIFICATE OF APPROVAL
APPLICATION DRAWING SET

2/23/2024 CORRECTED SET

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PROJECT DIRECTORY

OWNER
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PACIFIC AMERICAN EXPERIENCE
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NICOLE@SKLARCHITECTS.COM

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MTILBE@MURASE.COM
DEBBIE RAMOS
DRAMOS@MURASE.COM

HISTORIC STRUCTURES
BOLA ARCHITECTURE +
PLANNING
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SEATTLE, WA 98107-2027
PRINCIPAL: SUSAN D. BOYLE
(206) 383-2649
SBOYLE@BOLARCH.COM

**SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS**

1501 E MADISON ST
SUITE 205
SEATTLE, WA 98122

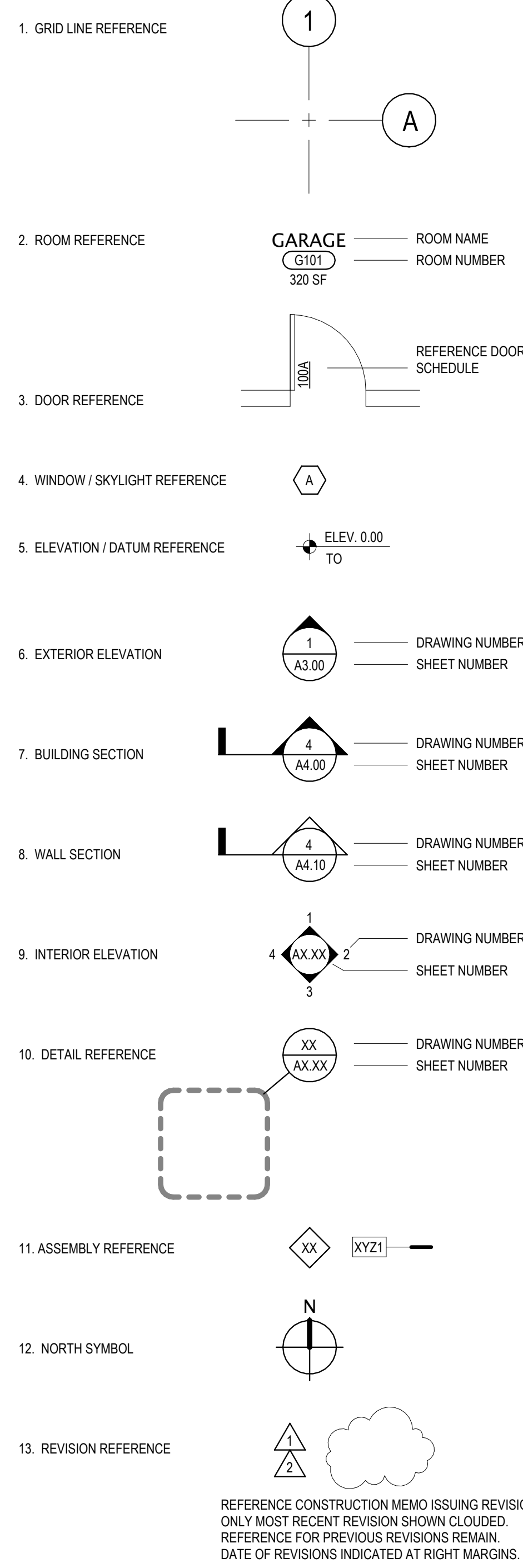
206.322.1130

SKLARCHITECTS.COM

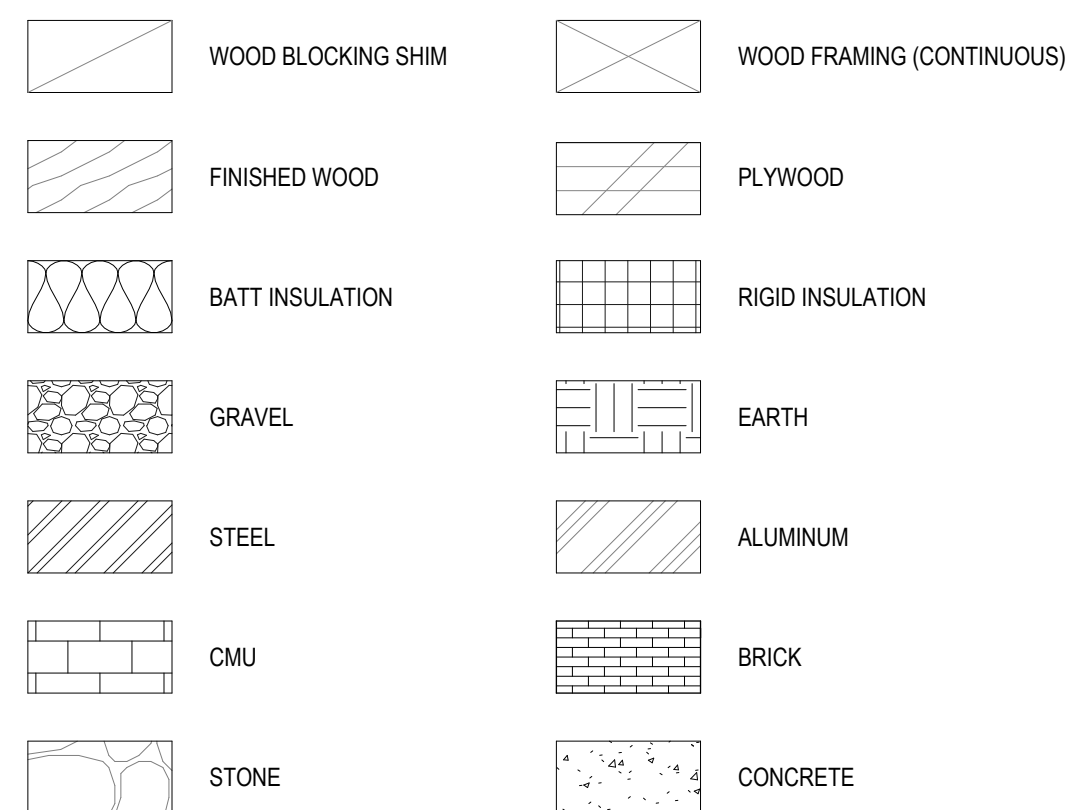
ABBREVIATIONS

Table of abbreviations for architectural symbols, including categories like AT (Anchor Bolt), HB (Hose Bibb), T (Tread), and various material and construction terms.

SYMBOLS LEGEND



MATERIALS LEGEND



ZONING / BUILDING CODE SUMMARY

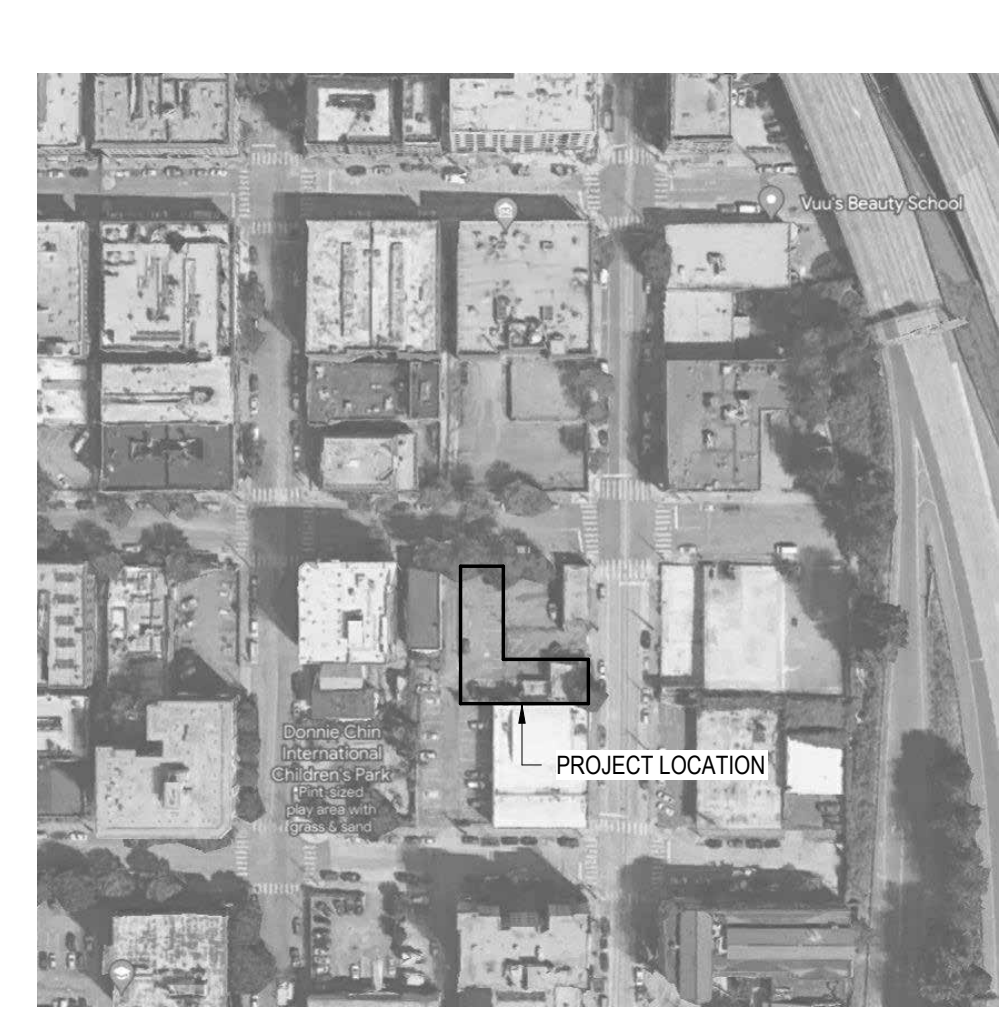
PROJECT ADDRESS: 611 8TH AVE SOUTH SEATTLE, WA 98104. OWNER: WING LUKE MUSEUM OF THE PACIFIC AMERICAN EXPERIENCE. ASSASSOR'S PARCEL NUMBER: 524780-2555. LEGAL DESCRIPTION: (PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO. 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.)

GROSS FLOOR AREA: MAIN LEVEL: 920 SQ FT, BASEMENT LEVEL: 810 SQ FT, NEW FLOOR AREA: 120 SQ FT, TOTAL FLOOR AREA: 1,850 SQ FT. ASSOCIATED PROJECT NO.: 3040417-LU, 3040418-LU, 3040419-LU (CONCURRENT SHORT PLAT APPLICATION). APPLICABLE CODES: LAND USE CODE, SMC TITLE 23, 2018 SEATTLE BUILDING CODE, 2018 SEATTLE EXISTING BUILDING CODE, 2018 SEATTLE ENERGY CODE, 2018 SEATTLE MECHANICAL CODE, 2018 SEATTLE FIRE CODE, 2020 SEATTLE ELECTRICAL CODE, 2018 SEATTLE PLUMBING CODE.

ENERGY CODE SUMMARY

NOTE: MECHANICAL AND ELECTRICAL TO BE IN SEPARATE PERMIT. EXISTING GAS FURNACE TO BE REPLACED WITH ELECTRIC SPLIT SYSTEM HEAT PUMP. COOLING COMPONENT IS ALLOWED UNDER C503.2 EXCEPTION #3 AS PROJECT IS LESS THAN 2,000 SQ FT SERVED. PROJECT IS 1,830 GROSS SQ FT. PROJECT IS NOT A SUBSTANTIAL ALTERATION AS DETERMINED WITH SDCI. SEE APPROVED PRE-SUBMITTAL CONFERENCE NOTES. NEW PORTIONS OF PROJECT WILL MEET CURRENT ENERGY CODE AS FOLLOWS: VERTICAL GLAZING: FIXED U-FACTOR U-0.34, OPERABLE U-FACTOR U-0.36, GLAZED ENTRANCE DOOR U-FACTOR: U-0.60, OPAQUE DOOR: U-0.37. ROOF: R-38 INSULATION ENTIRELY ABOVE DECK, WALL ABOVE GRADE: R-13 + R-7.5 CI, WALL BELOW GRADE: R-19 WOOD STUD, WALL EXT. BELOW GRADE: R-10 CI, SLAB ON GRADE: R-10 PERIMETER & UNDER ENTIRE SLAB. WHERE EXISTING FRAMING REMAINS AND THE FRAMING CAVITY IS EXPOSED DURING CONSTRUCTION, FILL CAVITY WITH INSULATION.

LOCATION MAP



GENERAL NOTES

- 1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BACK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
5. DIMENSIONS ARE TO EXTERIOR FACE OF CONCRETE / WOOD FRAMING UNLESS OTHERWISE NOTED.
6. EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
7. INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.

PROJECT DESCRIPTION

THE ENG FAMILY HOMESTEAD PROJECT IS A RENOVATION OF THE INTERIOR AND EXTERIOR OF THE EXISTING SINGLE FAMILY HOUSE ON THE PROPERTY. WITH A 160 SQUARE FOOT SECOND STORY ADDITION FOR ADA ACCESS. CHANGE OF USE FROM R-3 TO B (MUSEUM - HOME USED FOR HISTORIC IMMERSION TOURS).

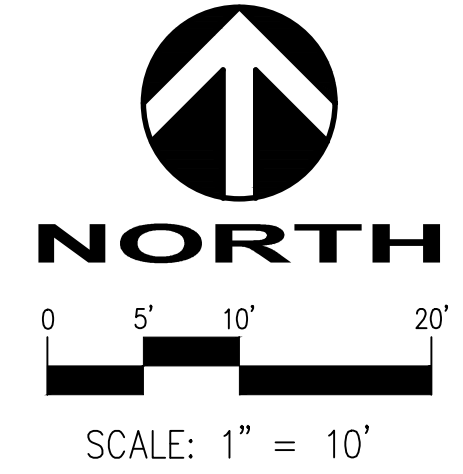
SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

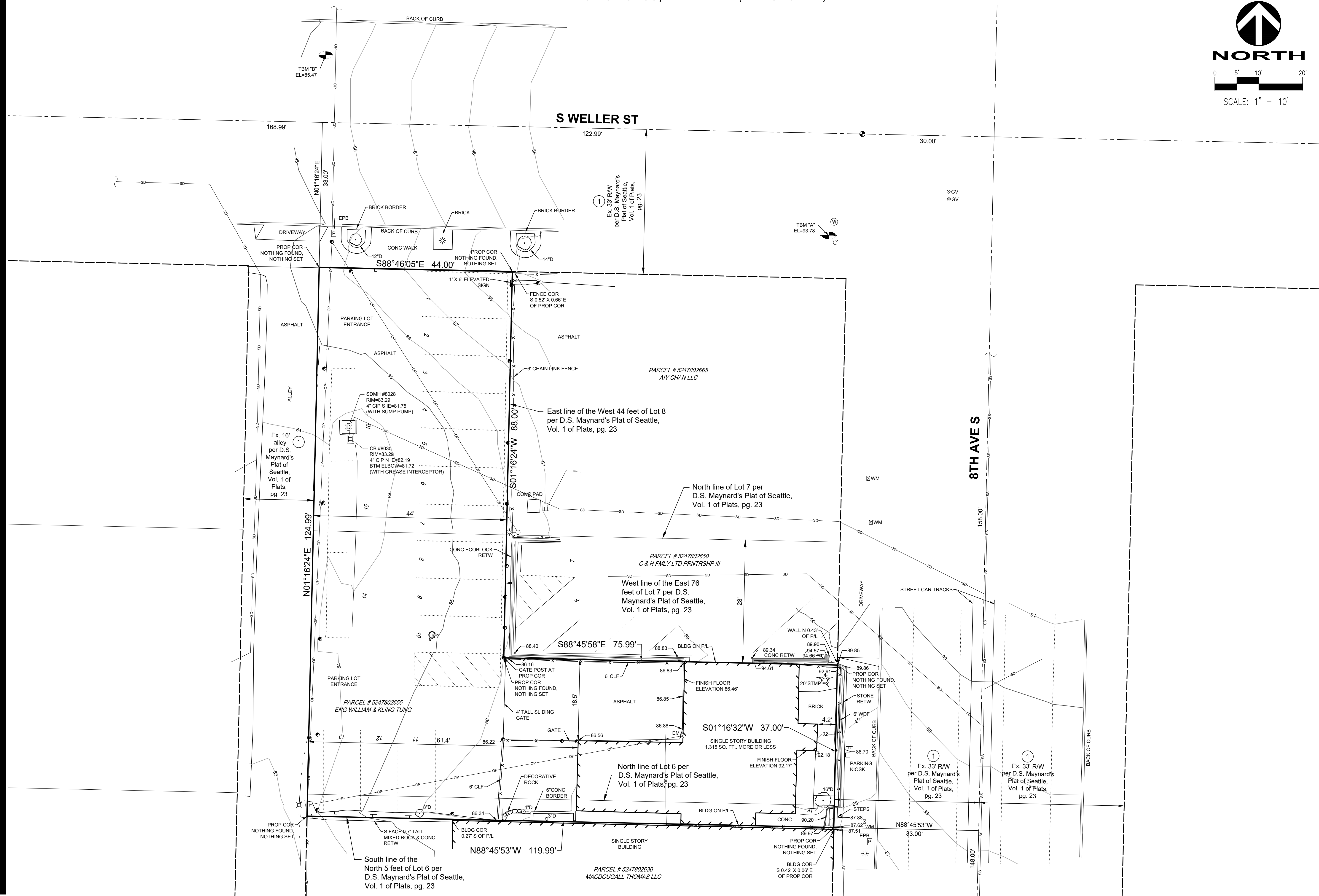


Official Stamps:

Project information table with columns for Project number (A0.00), Date (2/23/2024), Project Manager (JK/NL), Drawn by (NL), Checked by (Cneider), and ISRD Certificate of Approval (2/23/2024). Scale: 1/2" = 1'-0".



Plot Date: 12/14/2022 12:09 PM
Save Date: 12/02/2022 7:34 AM
By: Charles Cornwall
File: P:\WLM\KMD000001\0400\CAD\SV\BASE\SV-BS-WLMK0001.dwg



REVISIONS: APPD.

DATE: DEC. 14, 2022
DESIGN:
DRAWN: SAS
CHECKED:
REVISION NUMBER:

SCALE: 1"=10'

PROJECT NUMBER:
WLMK00000001

DRAWING FILE:
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SHEET NO.

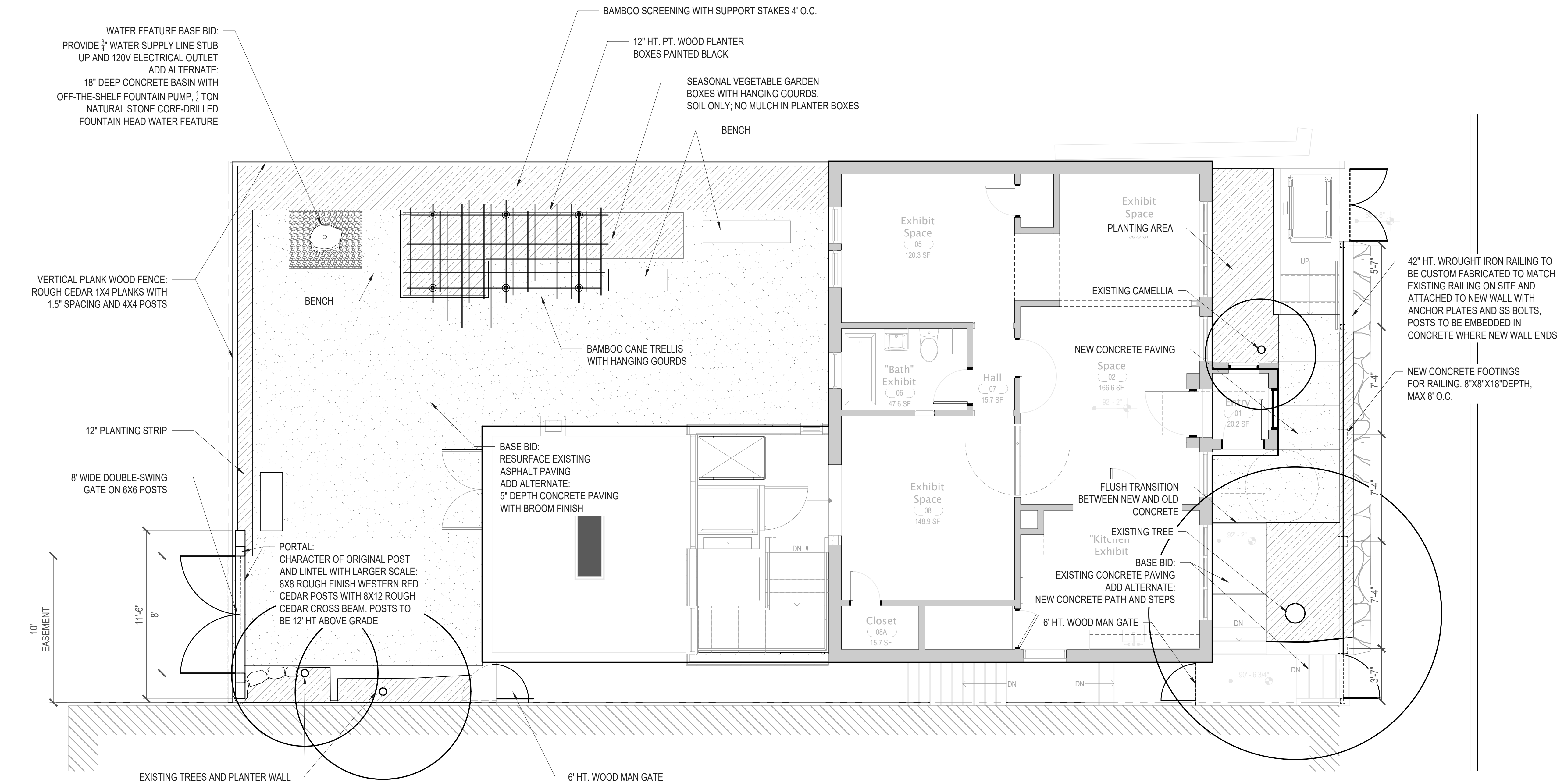
Official
Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

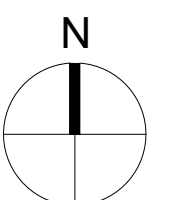
REVISIONS	NO.	DESCRIPTION	DATE
		NOT FOR CONSTRUCTION	
		PRICING SET	
			11/17/2023

Project number	22013
Date	11/17/2023
Project Manager	DR/MT
Drawn by	DR
Checked by	

L1.10
Scale
As indicated



1 SITE PLAN
SCALE: 1/4"=1'-0"

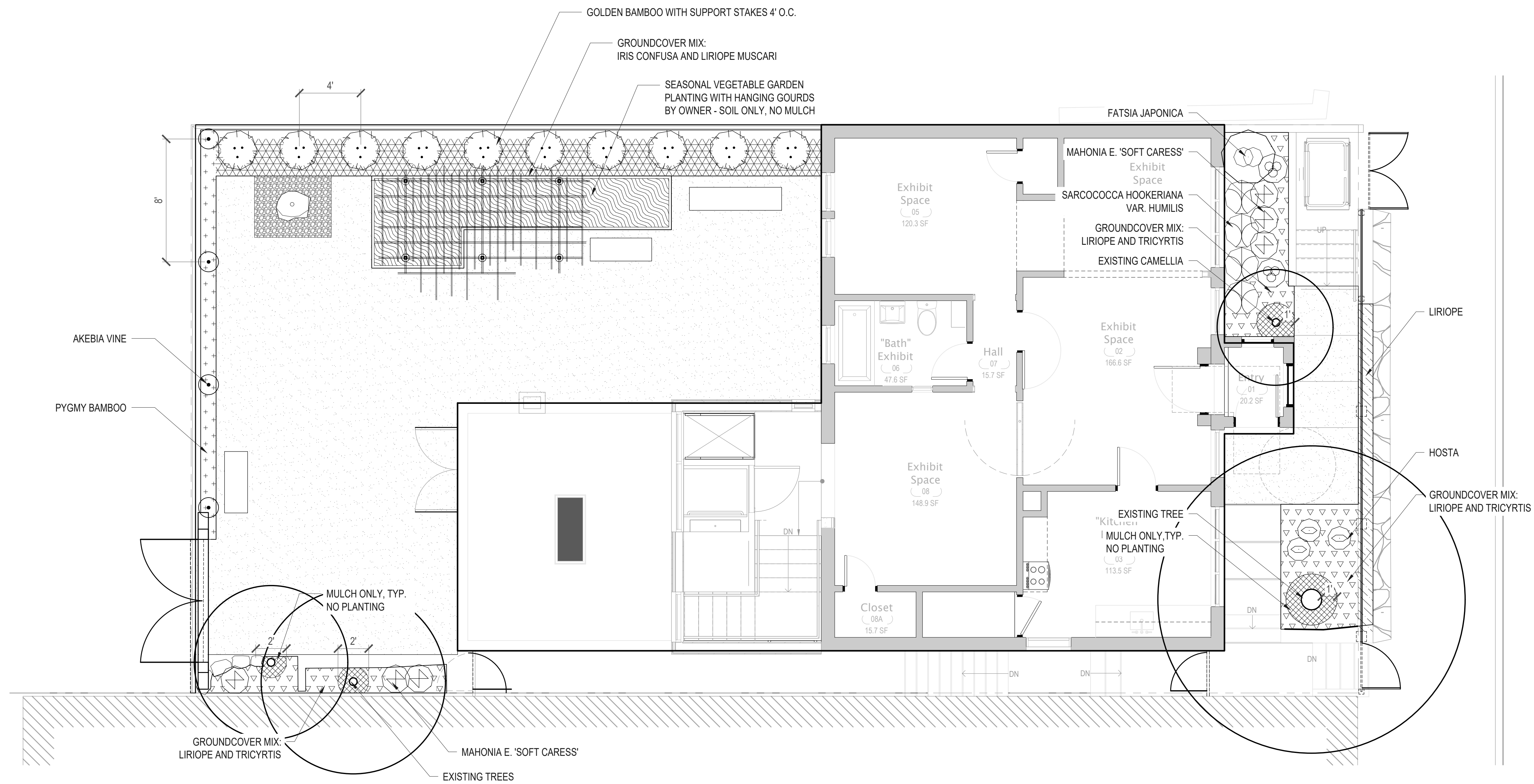


PLANTING SCHEDULE

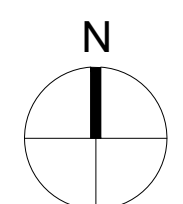
QTY	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
SHRUBS AND VINES				
4		AKEBIA QUINATA / CHOCOLATE VINE	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE
1		FATSIA JAPONICA / JAPANESE ARALIA	5-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE
6		MAHONIA EURYBRACTEATA 'SOFT CARESS' / SOFT CARESS MAHONIA	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE
10		PHYLLOSTACHYS AUREA / GOLDEN BAMBOO	10' MIN. HT.	48" O.C.; FULL FOLIAGE, UPRIGHT BROWTH WITH MIN. 3 CANES; STAKED WITH 1.5" DIA. WOOD DOWEL PAINTED BLACK
14		SARCOCOCCA RUSCIFOLIA / FRAGRANT SWEET BOX	2-GAL. CONT.	30" O.C.; WELL SPREAD WITH DENSE FOLIAGE TO GRADE
PERENNIALS				
3		HOSTA 'FRAGRANT BOUQUET' / FRAGRANT BOUQUET HOSTA	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE
2		PAEONIA LACTIFLORA / CHINESE PEONY	1-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE

PLANTING SCHEDULE

QTY	SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS
GROUNDCOVER				
20		PLEIOBLASTUS PYGMAEUS / PYGMY BAMBOO	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH
21		LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	12" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH
GROUNDCOVER MIX TYPE 1				
46		70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.
20		30% TRICYRTIS / TOAD LILY	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.
GROUNDCOVER MIX TYPE 2				
57		70% LIRIOPE MUSCARI 'BIG BLUE' / LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 12" O.C. TRIANGULAR SPACING, TYP.
24		30% IRIS CONFUSA / IRIS	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.



1 SITE PLAN
SCALE: 1/4"=1'-0"



Official Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

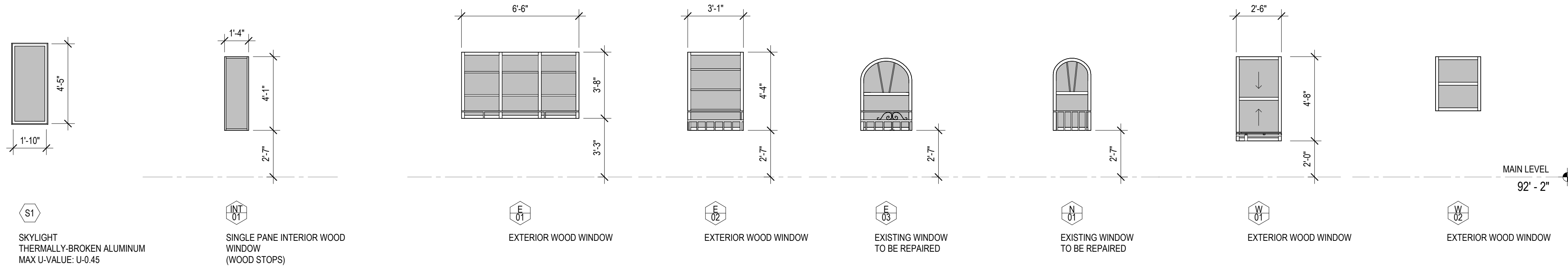
REVISIONS	NO.	DESCRIPTION	DATE
		NOT FOR CONSTRUCTION	
		PRICING SET	11/17/2023

PLANTING PLAN

L2.10

Scale As Indicated

Project number	22013
Date	11/17/2023
Project Manager	DR/MT
Drawn by	DR
Checked by	



S1
SKYLIGHT
THERMALLY-BROKEN ALUMINUM
MAX U-VALUE: U-0.45

W1
SINGLE PANE INTERIOR WOOD WINDOW
(WOOD STOPS)

W2
EXTERIOR WOOD WINDOW

W3
EXTERIOR WOOD WINDOW

W4
EXISTING WINDOW TO BE REPAIRED

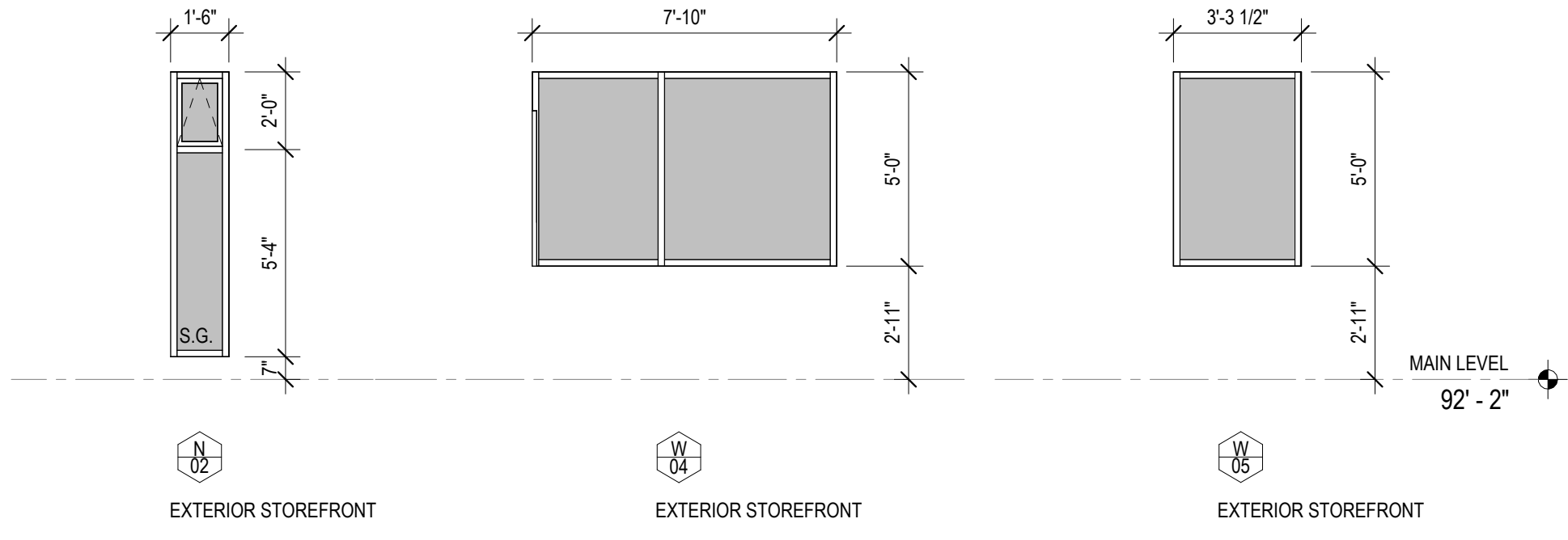
W5
EXISTING WINDOW TO BE REPAIRED

W6
EXTERIOR WOOD WINDOW

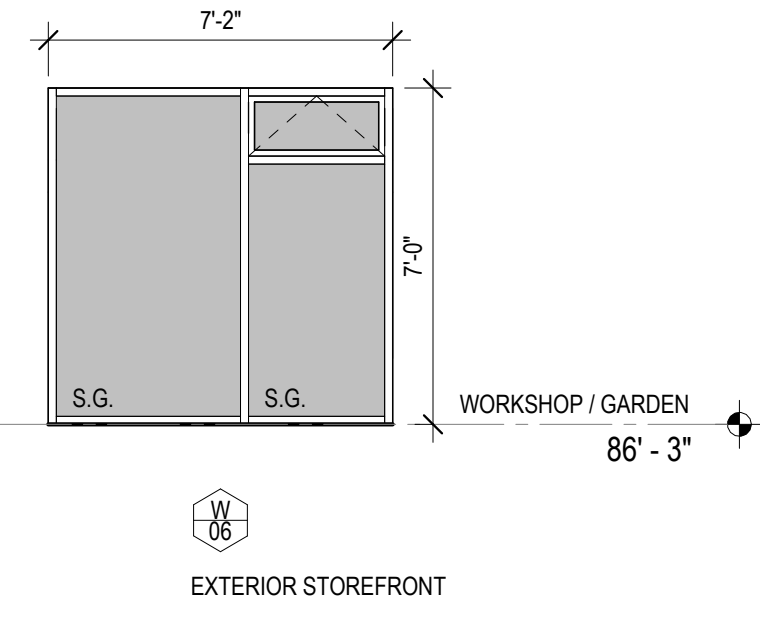
W7
EXTERIOR WOOD WINDOW

W8
EXISTING WINDOW TO BE REPAIRED, REPLACE BOTTOM PANE WITH SAFETY GLASS

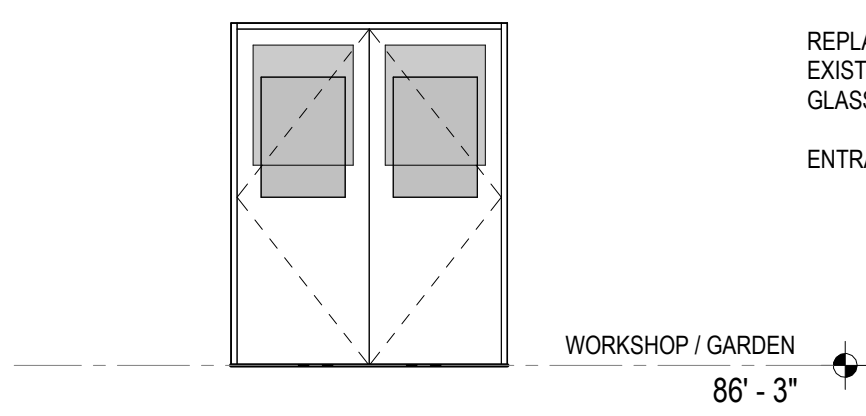
WINDOW SCHEDULE - ADDITION (ALUMINUM STOREFRONT)
SCALE: 1/4" = 1'-0"



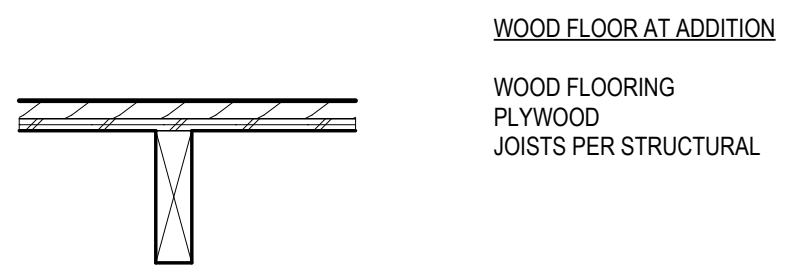
EXTERIOR STOREFRONT SYSTEM
KAWNEER TRIFAB 451-T SERIES
KAWNEER OPERABLE AWNING: GLASSVENT UT
1" CLEAR INSULATED GLASS: SOLARBAN 70, ARGON-FILLED, 1/4" CLEAR GLASS
FIXED U-FACTOR: U-0.34
OPERABLE U-FACTOR: U-0.36



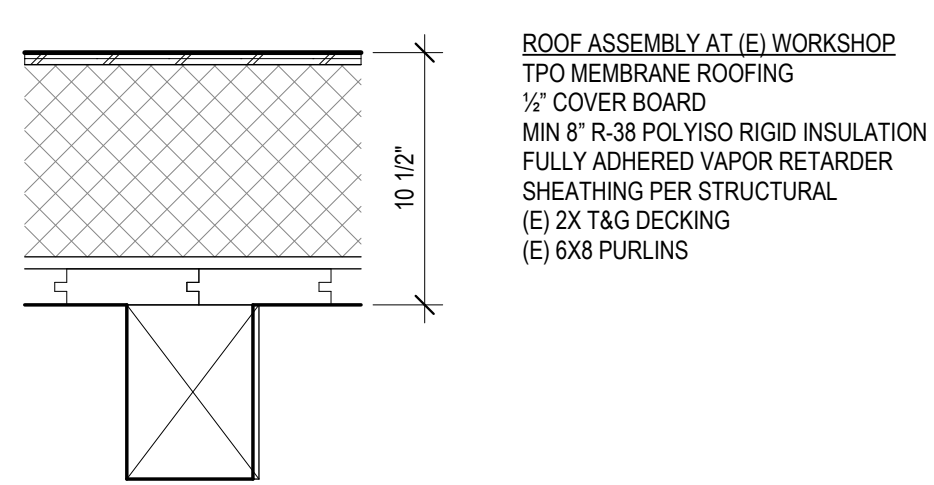
DOOR SCHEDULE
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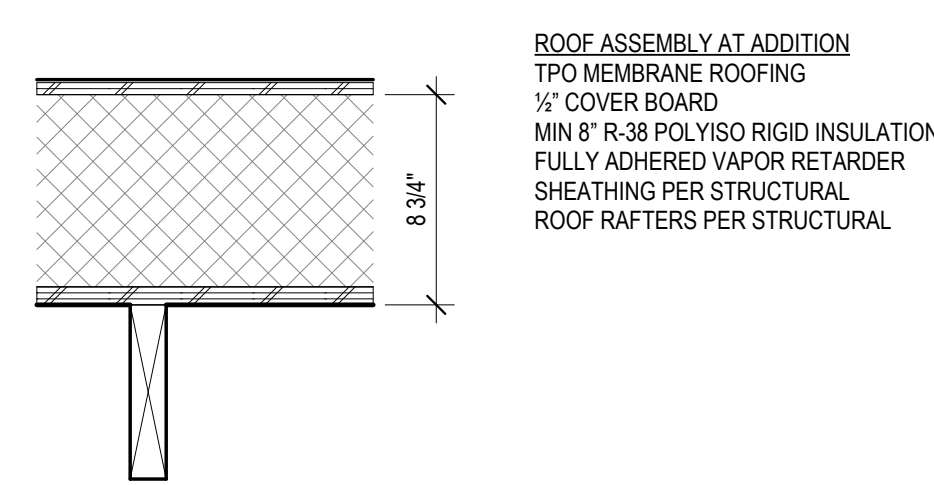
FLOOR ASSEMBLIES
SCALE: 1 1/2" = 1'-0"



R2

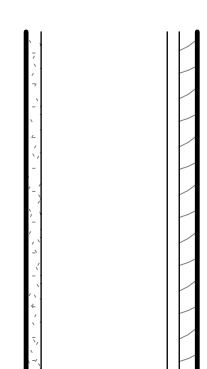


R1

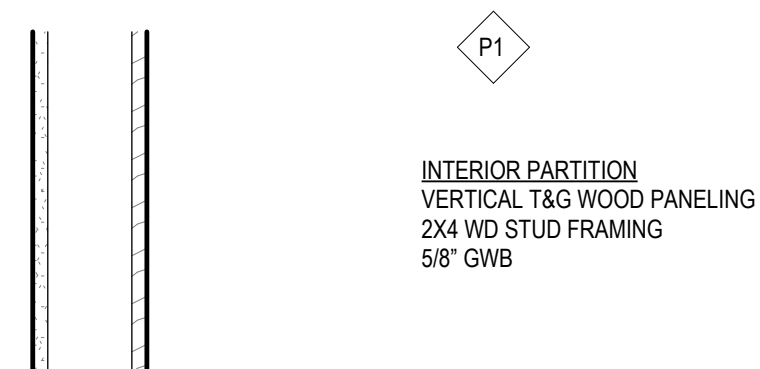


ROOF ASSEMBLIES
SCALE: 1 1/2" = 1'-0"

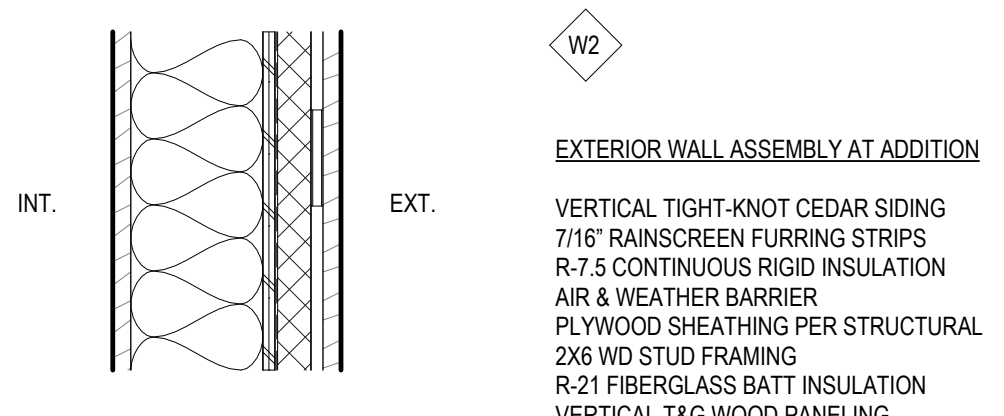
INTERIOR PARTITIONS
SCALE: 1 1/2" = 1'-0"



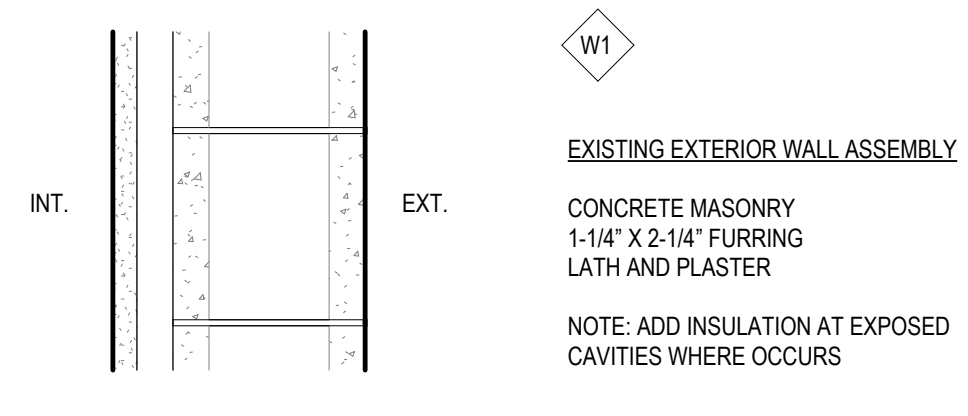
P1



W2



W1



EXTERIOR WALL ASSEMBLIES
SCALE: 1 1/2" = 1'-0"

WALL AT (E) GARAGE

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205
SEATTLE WA 98122-4465
206.322.1130

REGISTERED ARCHITECT
6290
STATE OF WASHINGTON

Official Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

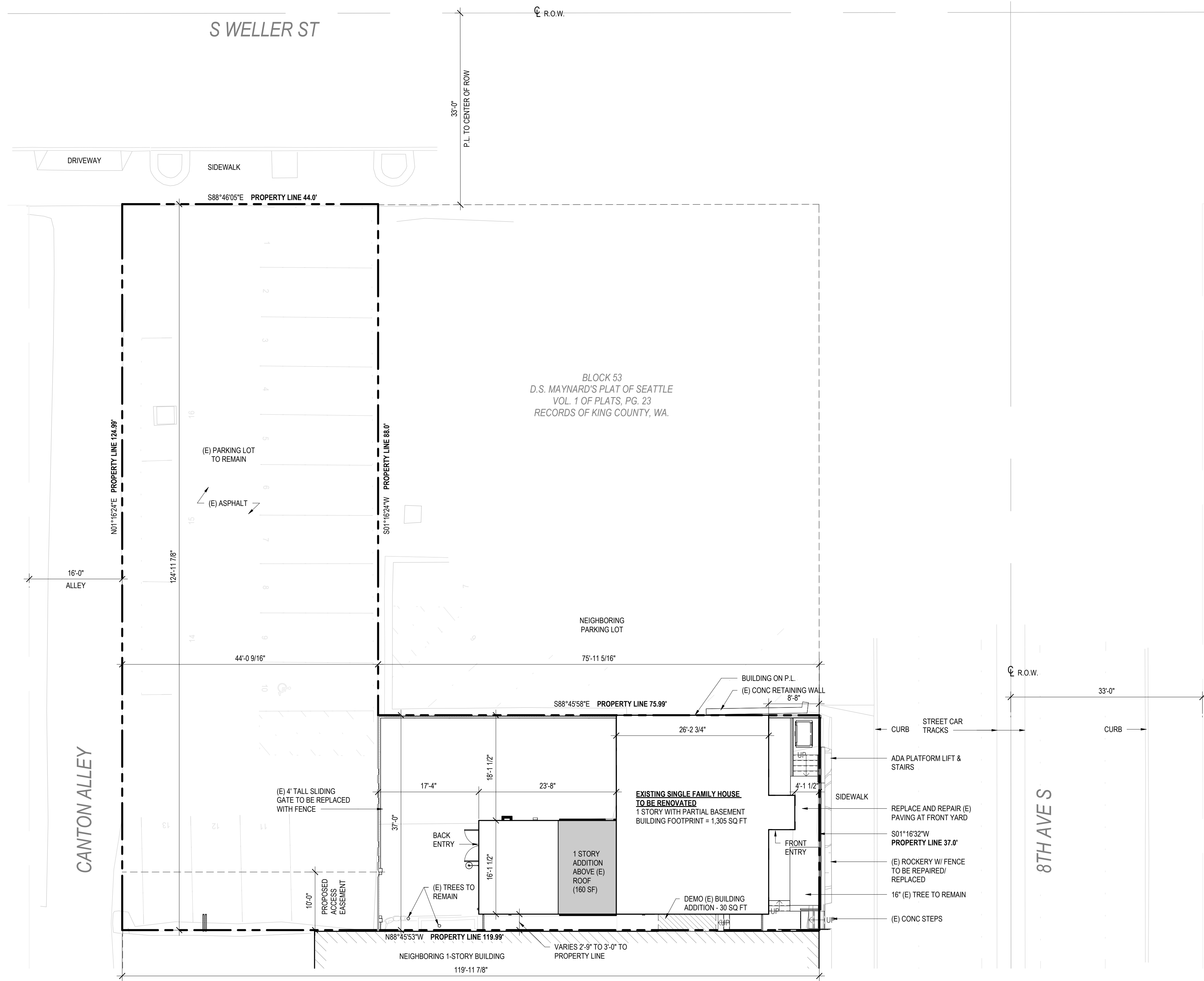
NO.	DESCRIPTION	DATE
1	ISRD CERTIFICATE OF APPROVAL	2/23/2024

WINDOW & DOOR SCHEDULE, ASSEMBLIES

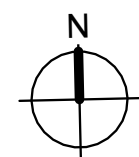
Project number	Date	Project Manager	Drawn by	Checked by
22013	2/23/2024	JK/NL	NL	Checker

A0.10

Scale: As indicated



1 PRELIMINARY SITE PLAN
 SCALE: 1" = 10'-0"



PROJECT INFORMATION

ADDRESS 611 8TH AVE SOUTH
 SEATTLE, WA 98104

OWNER WING LUKE MUSEUM OF THE ASIAN PACIFIC
 AMERICAN EXPERIENCE

PROJECT DESCRIPTION RENOVATION OF AN EXISTING SINGLE FAMILY
 HOUSE FOR HISTORICAL DOCENT-LED TOURS.

ASSESSOR'S PARCEL NO. 524780-2655

LEGAL DESCRIPTION:
 (PER BARGAIN AND SALE DEED RECORDED UNDER RECORDING NO.
 20211124001649, RECORDS OF KING COUNTY, WASHINGTON.)

THE NORTH 5 FEET OF LOT 6, LOT 7, EXCEPT THE NORTH 28 FEET OF THE EAST 76
 FEET; AND THE WEST 44 FEET OF LOT 8, ALL IN BLOCK 53, TOWN OF SEATTLE, AS
 LAID OUT BY D.S.MAYNARD (COMMONLY KNOWN AS D.S. MAYNARD'S PLAT OF
 SEATTLE), ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1 OF
 PLATS, PAGE 23, RECORDS OF KING COUNTY, WASHINGTON.

ZONING INTERNATIONAL DISTRICT MIXED IDM 85/85-170

HISTORIC DISTRICT INTERNATIONAL SPECIAL REVIEW DISTRICT

GROSS FLOOR AREA MAIN LEVEL: 920 SQ FT
 BASEMENT LEVEL: 810 SQ FT
 NEW FLOOR AREA: 120 SQ FT
 TOTAL FLOOR AREA: 1,850 SQ FT

ASSOCIATED PROJECT NO. 3040417-LU, 3040418-LU, 3040419-LU
 (CONCURRENT SHORT PLAT APPLICATION)

**SUNDBERG
 KENNEDY
 LY-AU YOUNG
 ARCHITECTS**

1501 E MADISON, SUITE 205
 SEATTLE WA 98122-4465
 206.322.1130



Official
 Stamps:

Eng Family Homestead Renovation 611 8th Ave South, Seattle, WA 98104		ISRD CERTIFICATE OF APPROVAL 2/23/2024
REVISIONS NO. DESCRIPTION	DATE	

SITE PLAN	Project number	22013
	Date	2/23/2024
A1.00	Project Manager	JK/NL
	Drawn by	NL
Scale	1" = 10'-0"	Checked by



Official
Stamps:

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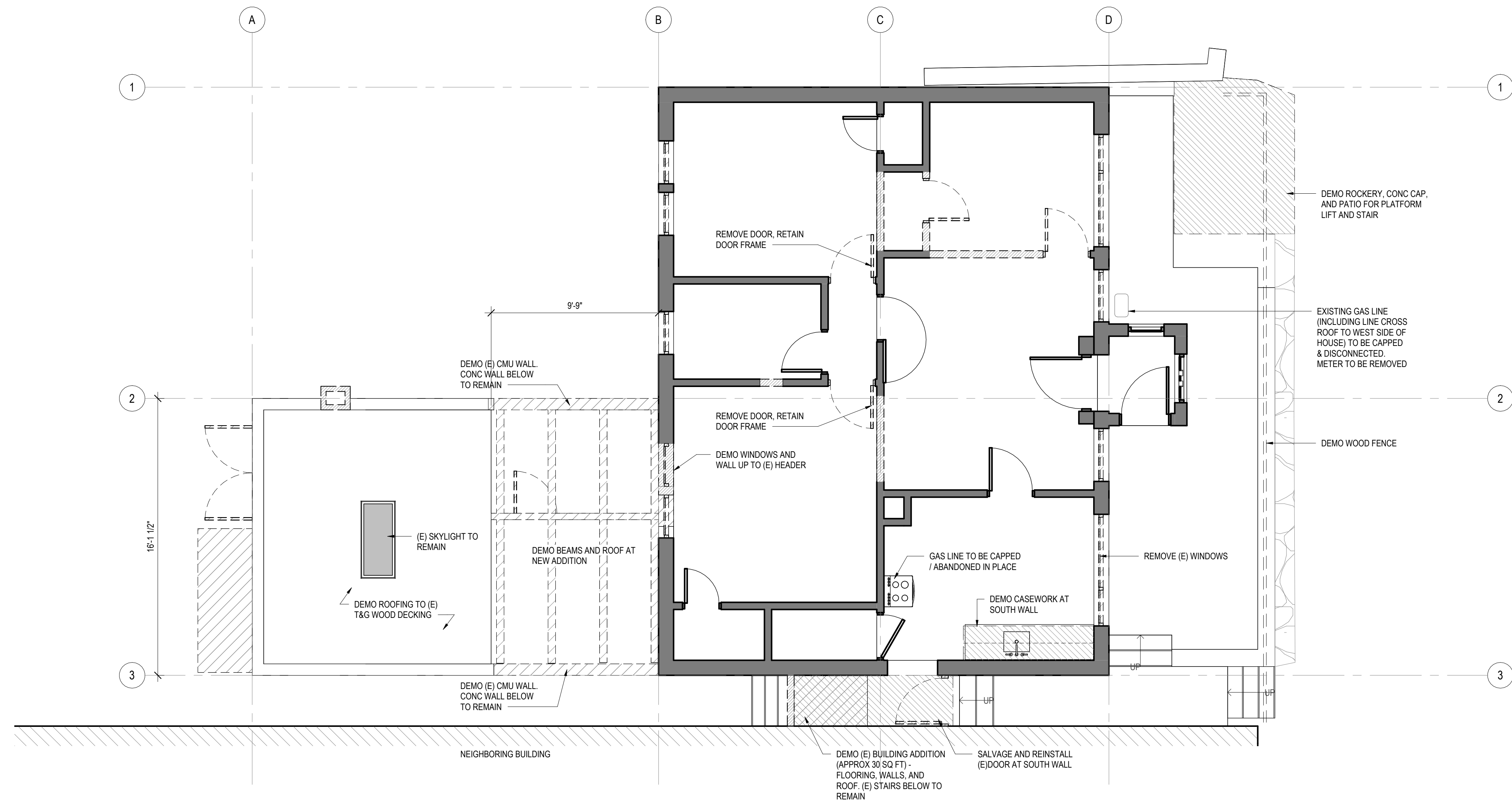
BASEMENT & MAIN FLOOR DEMO PLANS

Project number	22013
Date	2/23/2024
Project Manager	JK/NL
Drawn by	NL
Checked by	

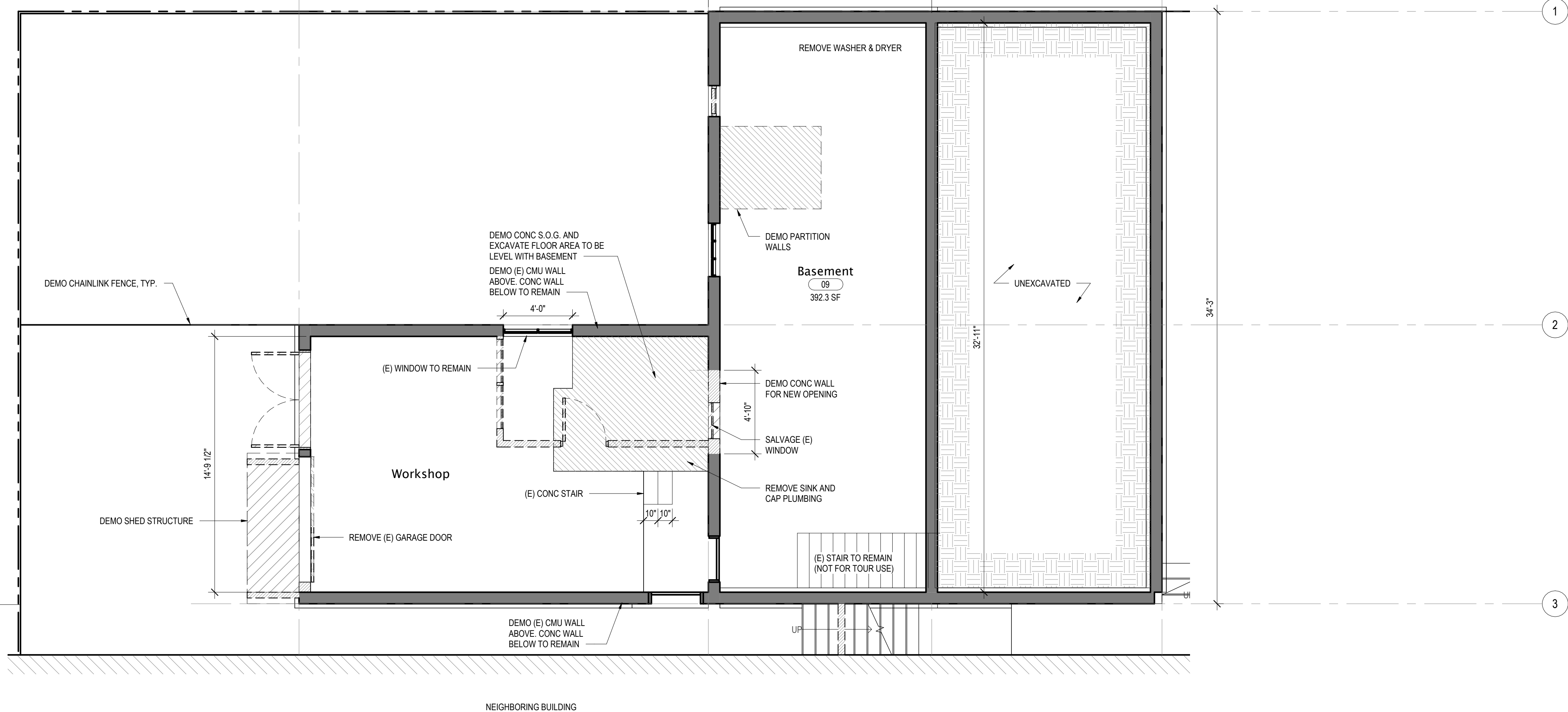
AD2.00

Scale: 1/4" = 1'-0"

2 MAIN LEVEL DEMO PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT DEMO PLAN
SCALE: 1/4" = 1'-0"





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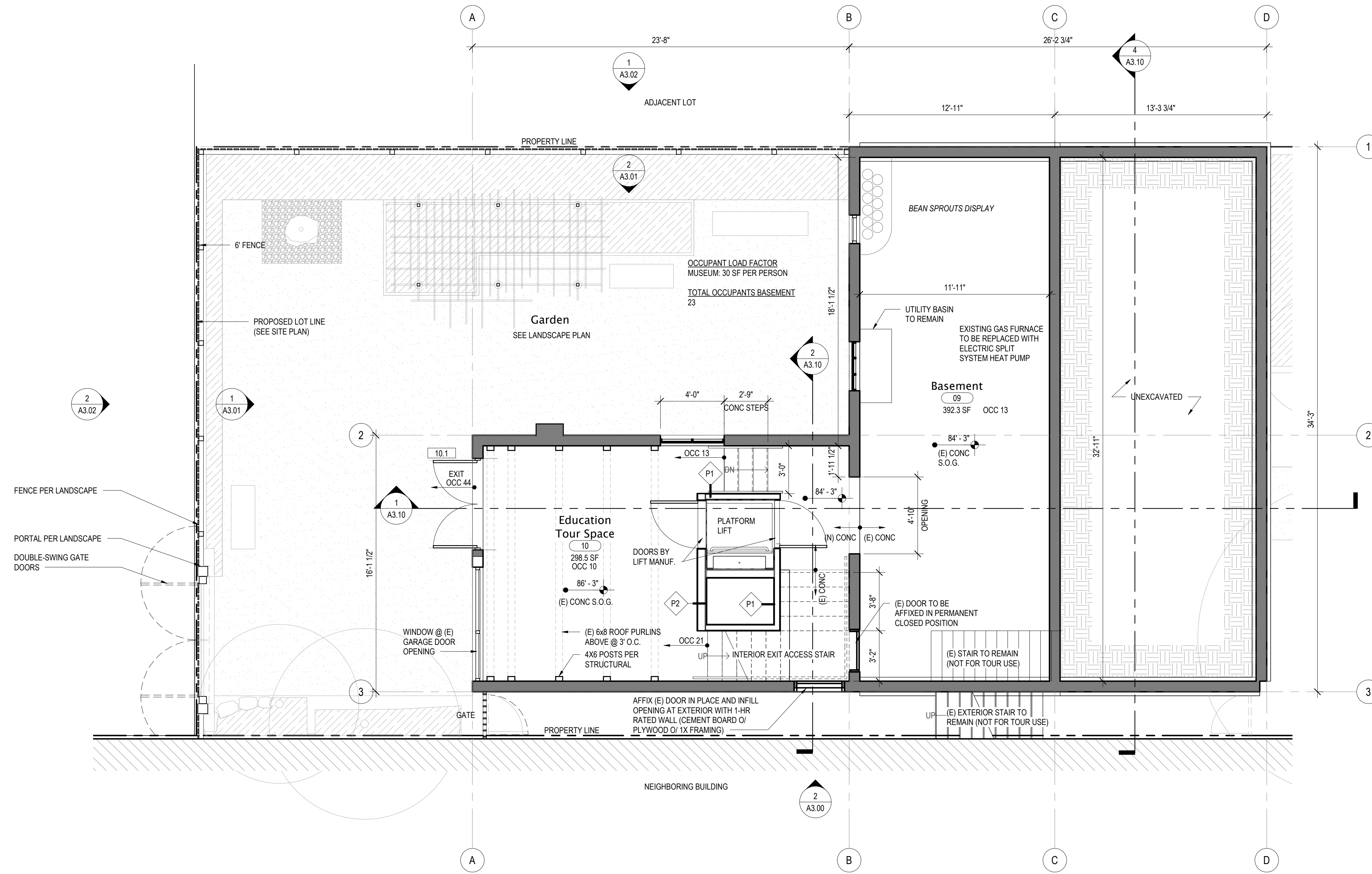
2/23/2024

BASEMENT PLAN

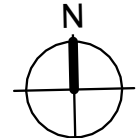
A2.00

Scale: As indicated

Project number	22013
Date	2/23/2024
Project Manager	JK/NL
Drawn by	NL
Checked by	

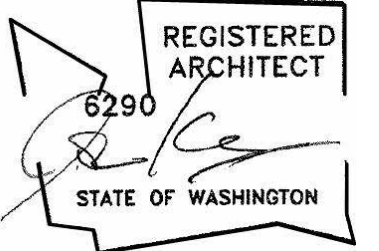


1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



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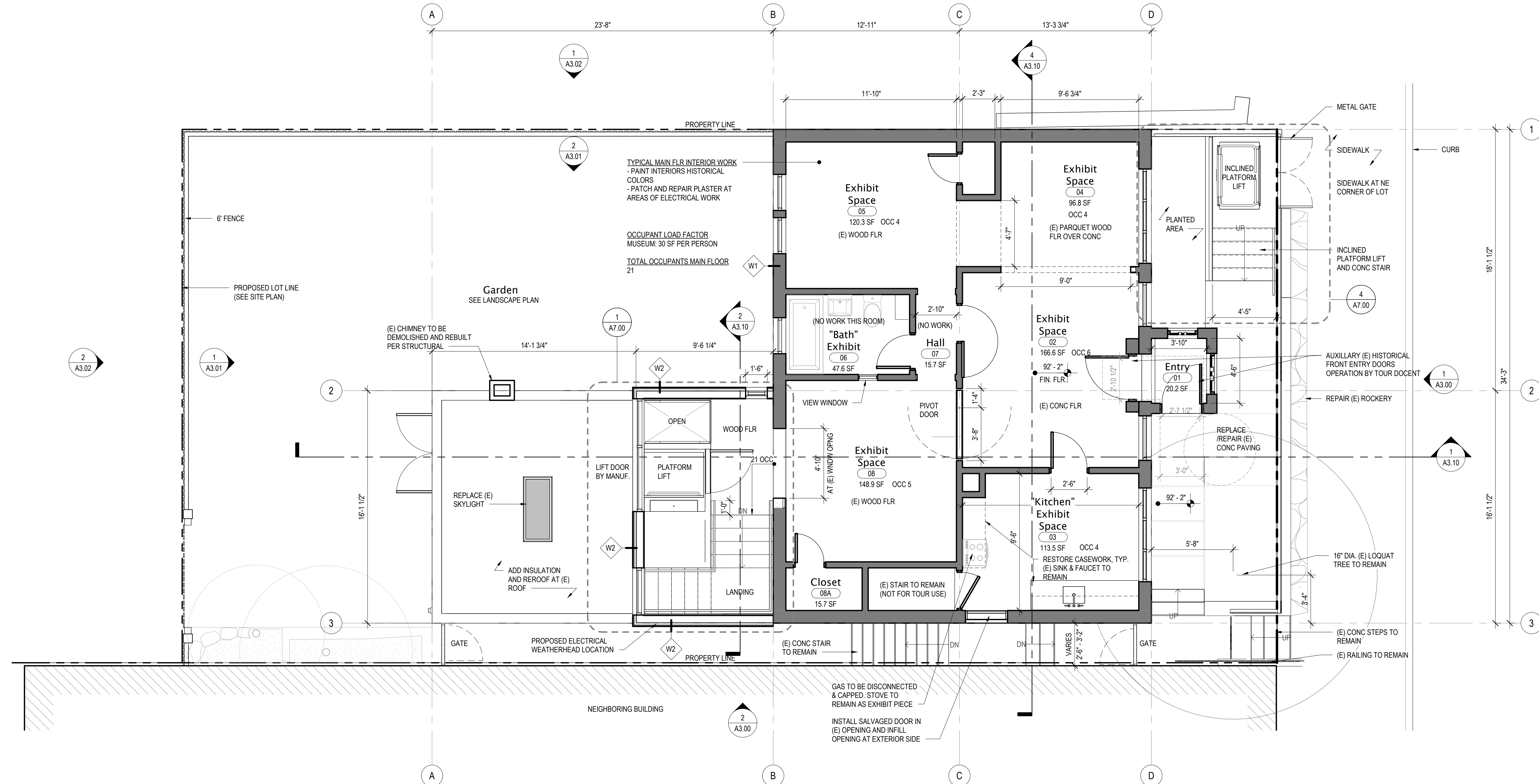
NO.	DESCRIPTION	DATE
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MAIN LEVEL PLAN

A2.10

Scale: As indicated

Project number	22013
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Drawn by	NL
Checked by	



1 MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION



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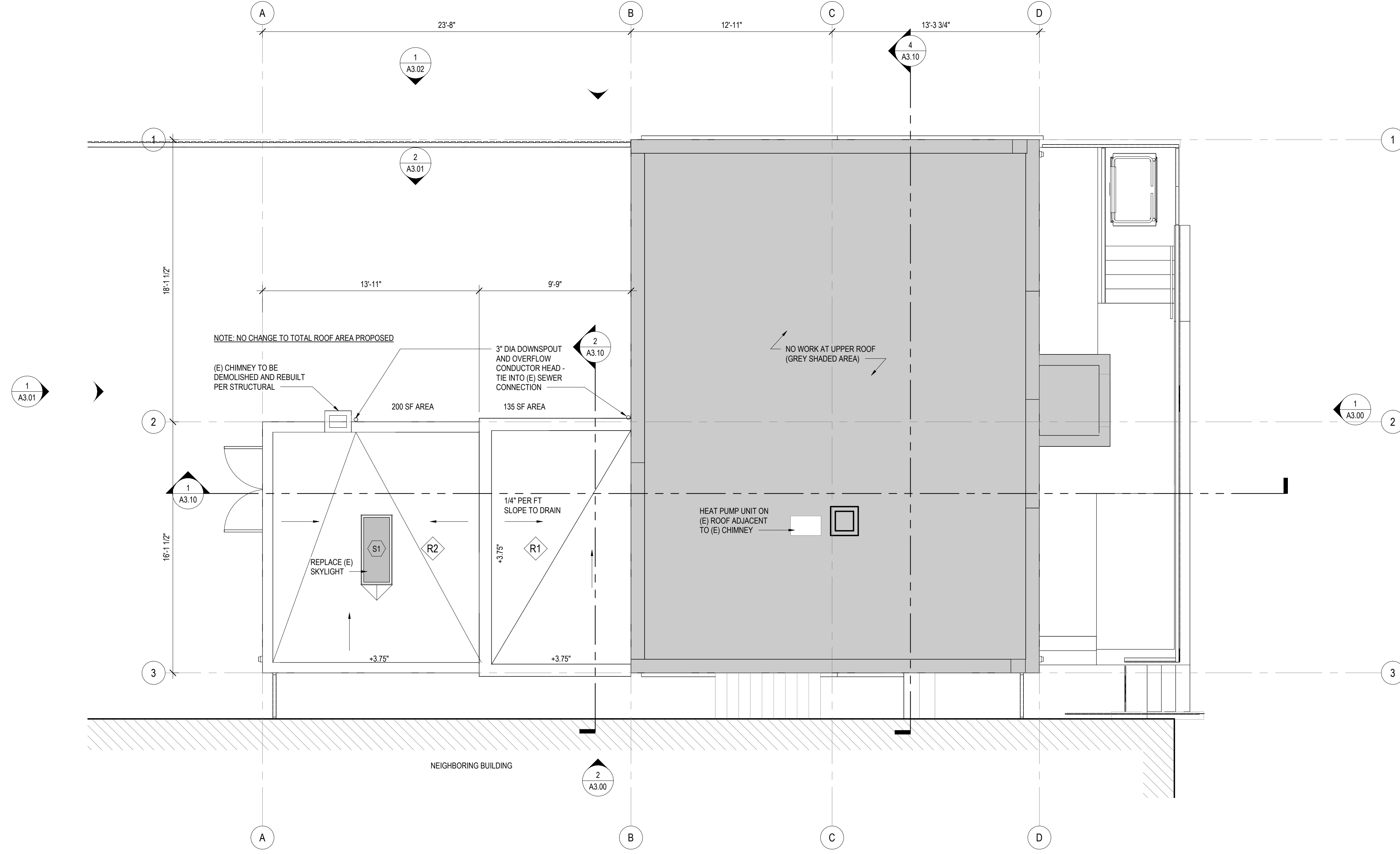
NO.	REVISIONS DESCRIPTION	DATE
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ROOF PLAN

A2.20

Scale 1/4" = 1'-0"

Project number	22013
Date	2/23/2024
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Drawn by	NL
Checked by	Checker



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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611 8th Ave South, Seattle, WA 98104

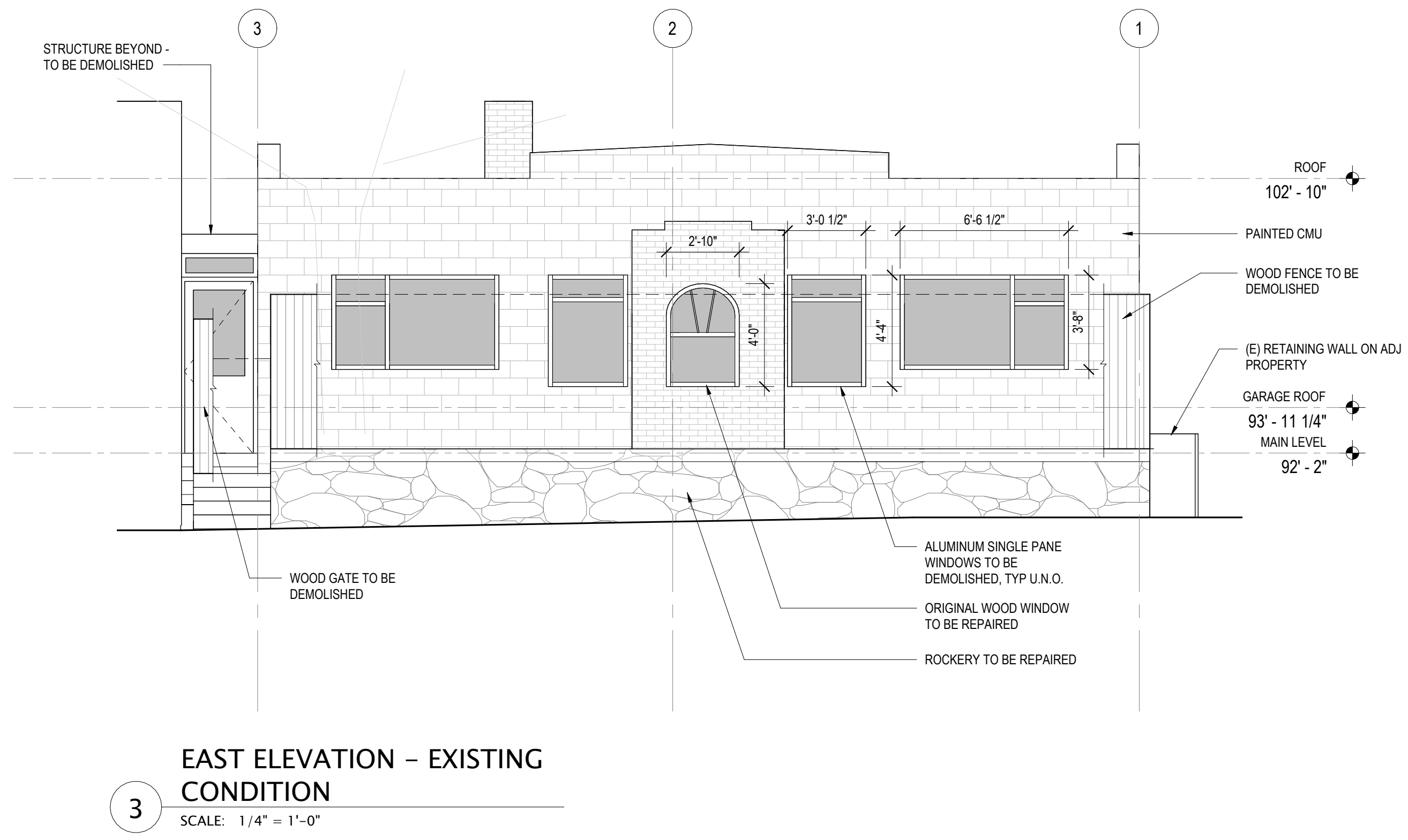
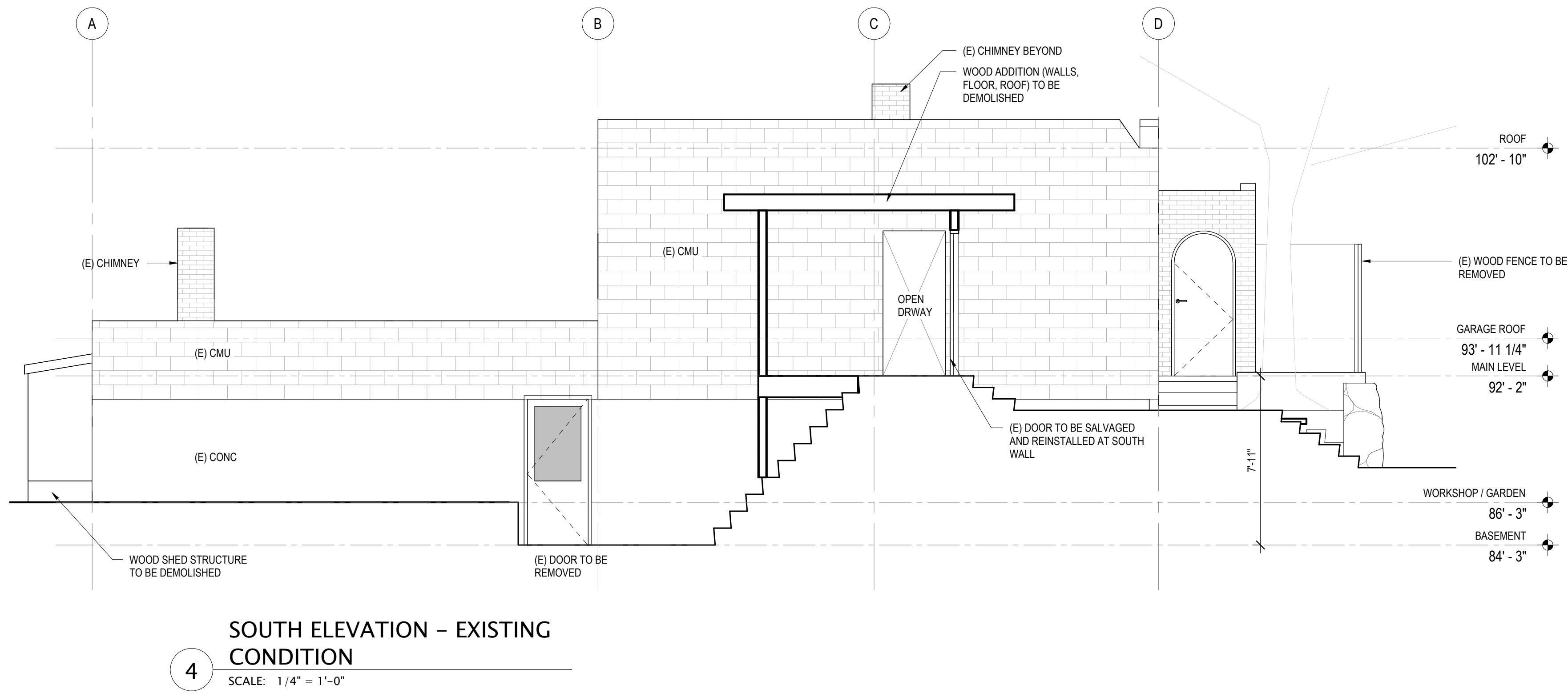
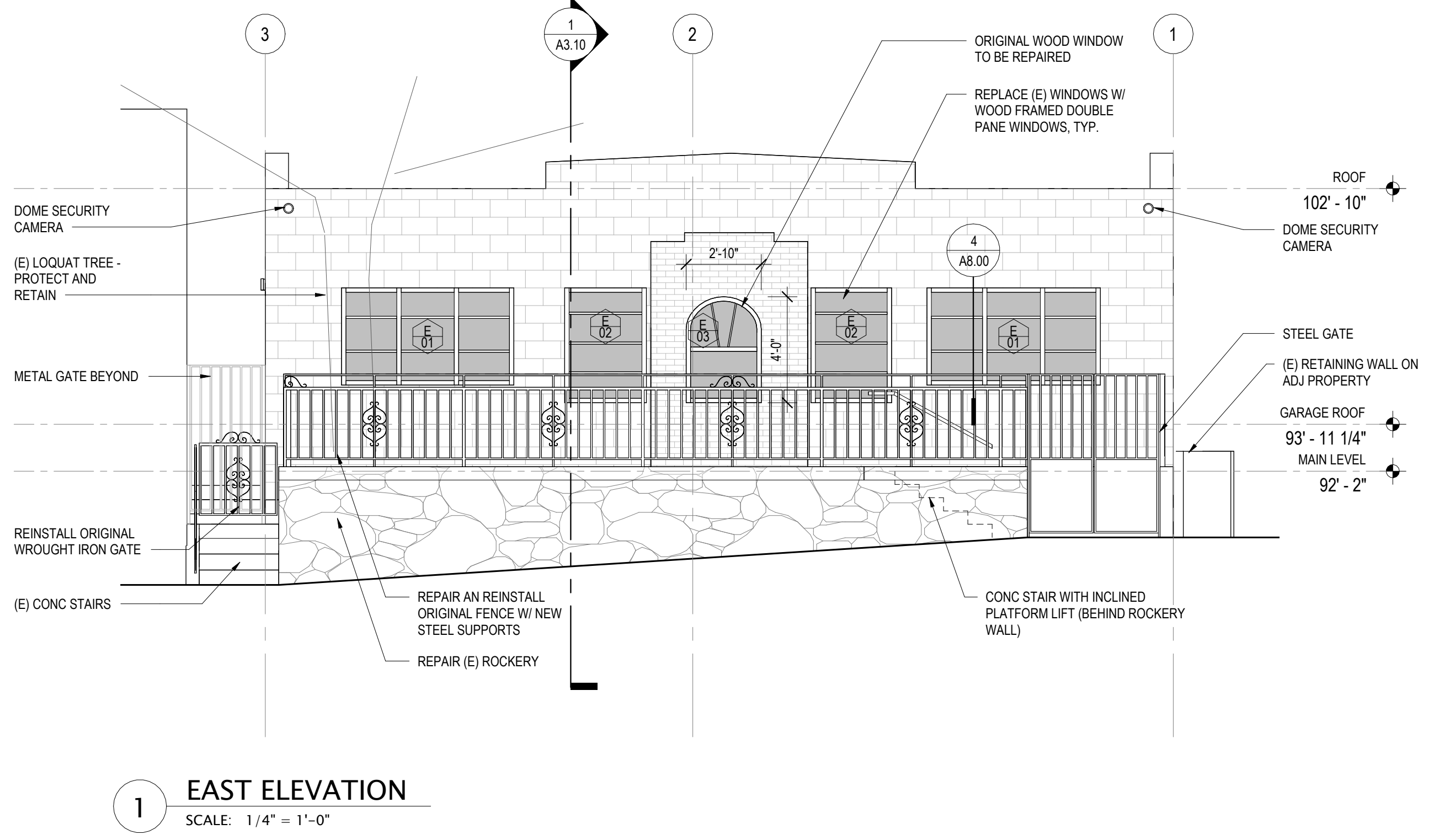
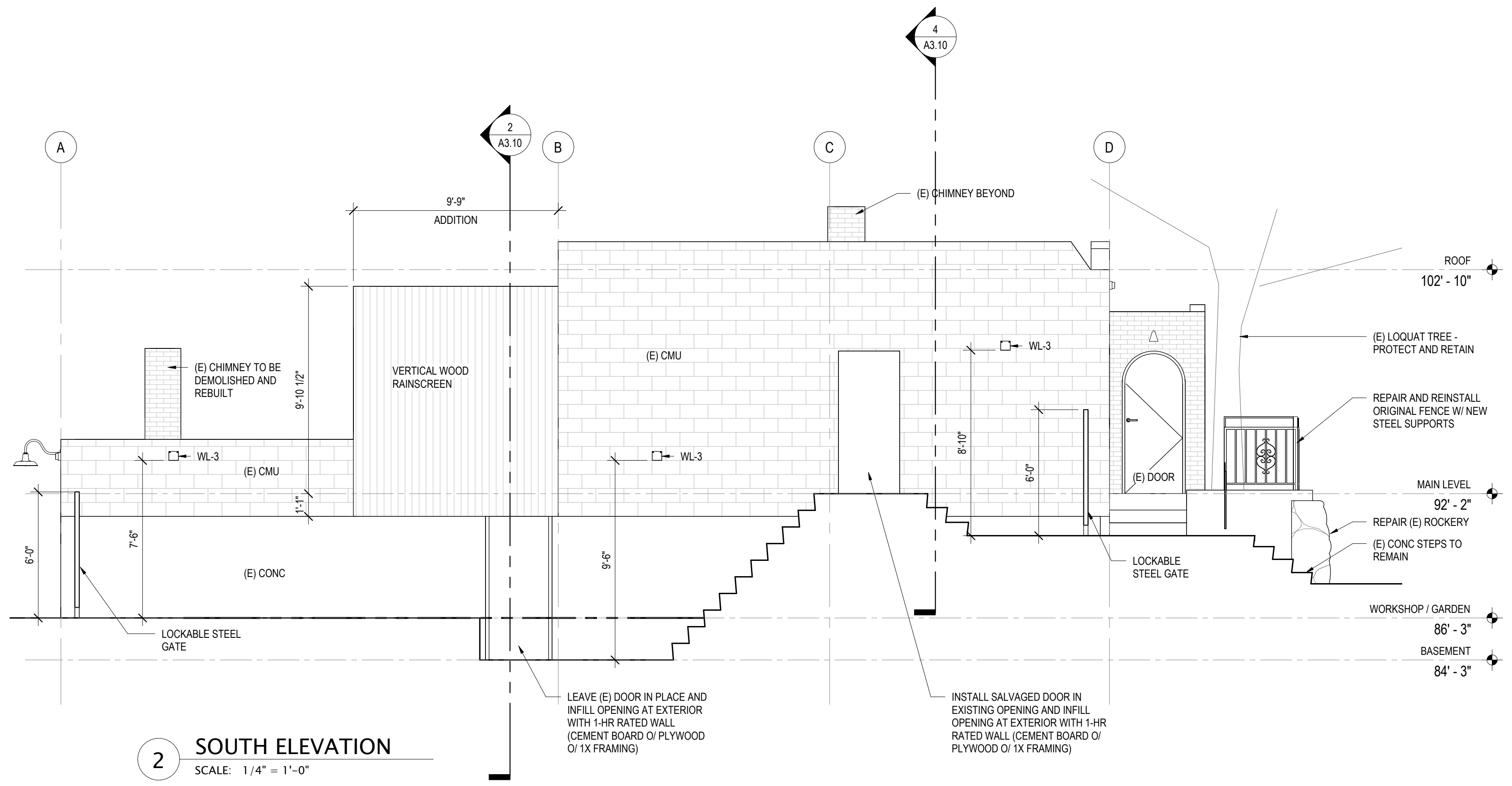
REVISIONS	NO.	DESCRIPTION	DATE	ISRD CERTIFICATE OF APPROVAL
22013	1	Project number	2/23/2024	
	2	Date		
	3	Project Manager		
	4	Drawn by		
	5	Checked by		

EXTERIOR ELEVATIONS - SOUTH AND EAST

A3.00

Scale: 1/4" = 1'-0"

TYPICAL EXTERIOR WORK
 - PAINT BUILDING EXTERIOR WALLS, DOORS, AND TRIM (RESTORE ORIGINAL COLORS)
 - REPLACE (E) WINDOWS W/ WOOD FRAMED WINDOWS TO MATCH HISTORIC PHOTOS (U.N.O.)
 - RESTORE PARAPET COPING AND LOUVERED VENT OPENINGS
 - REFER TO STRUCTURAL NARRATIVE FOR MASONRY AND INTEL REPAIR





Official
Stamps:

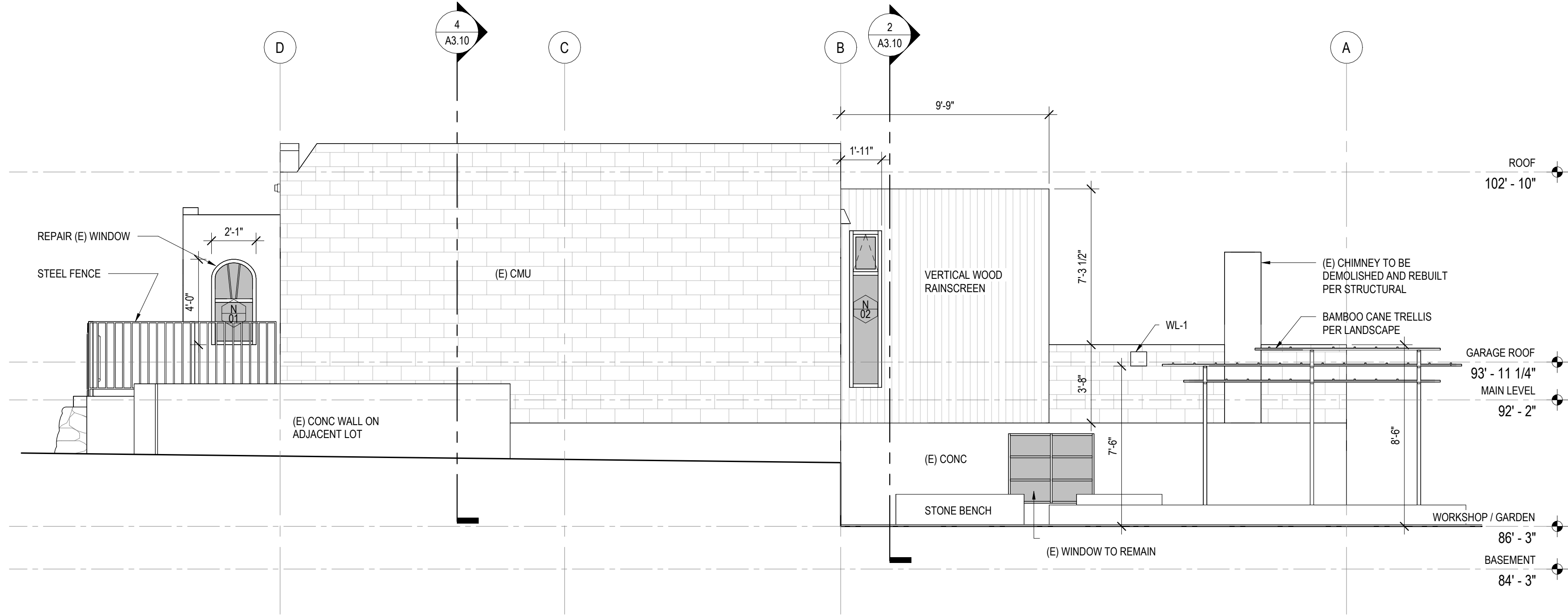
Eng Family Homestead Renovation
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REVISIONS	NO.	DESCRIPTION	DATE	ISRD CERTIFICATE OF APPROVAL	DATE
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	22024	Date			
		Project Manager			
		Drawn by			
		Checked by			

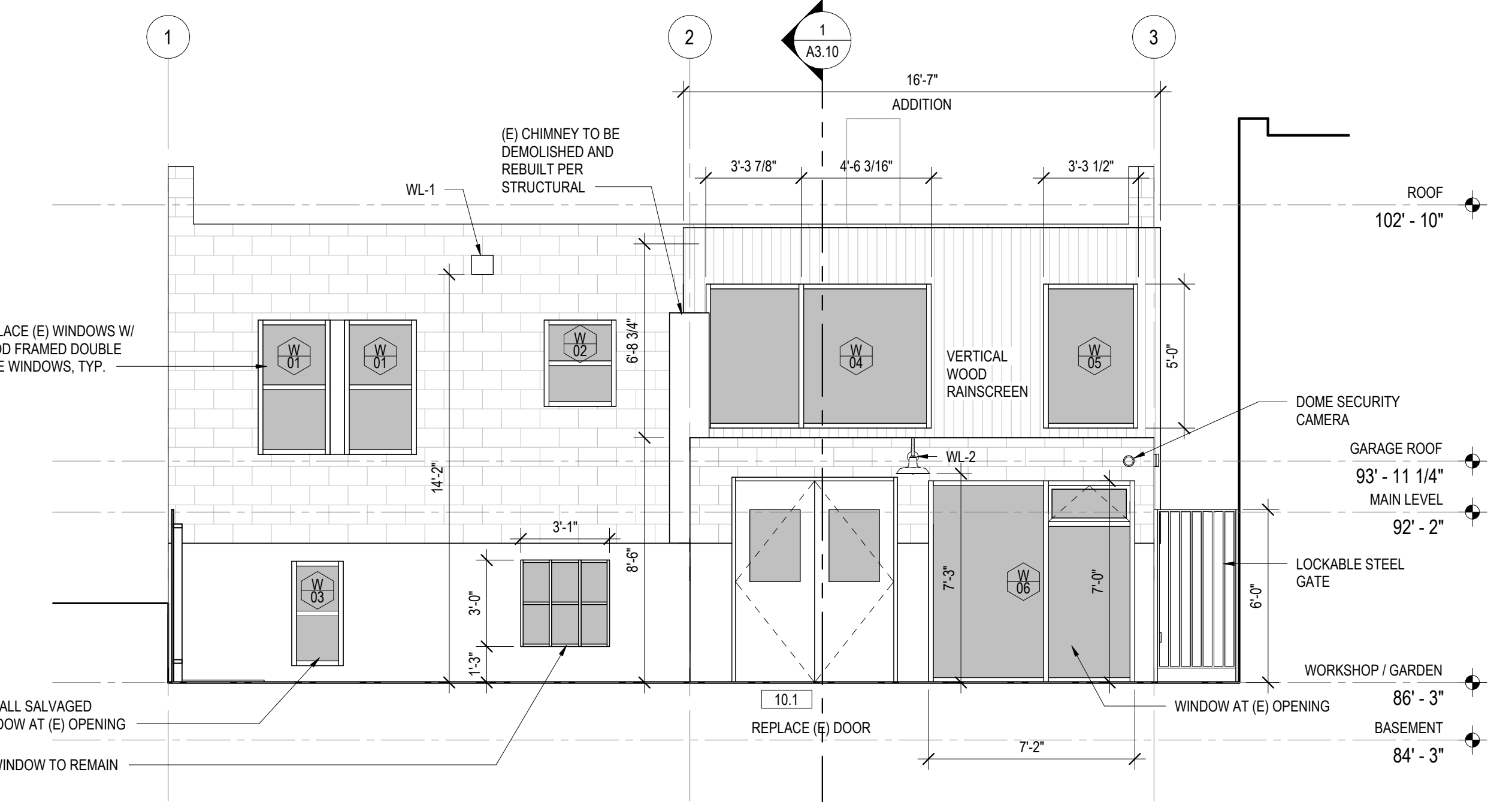
EXTERIOR ELEVATIONS - NORTH AND WEST

A3.01
Scale: 1/4" = 1'-0"

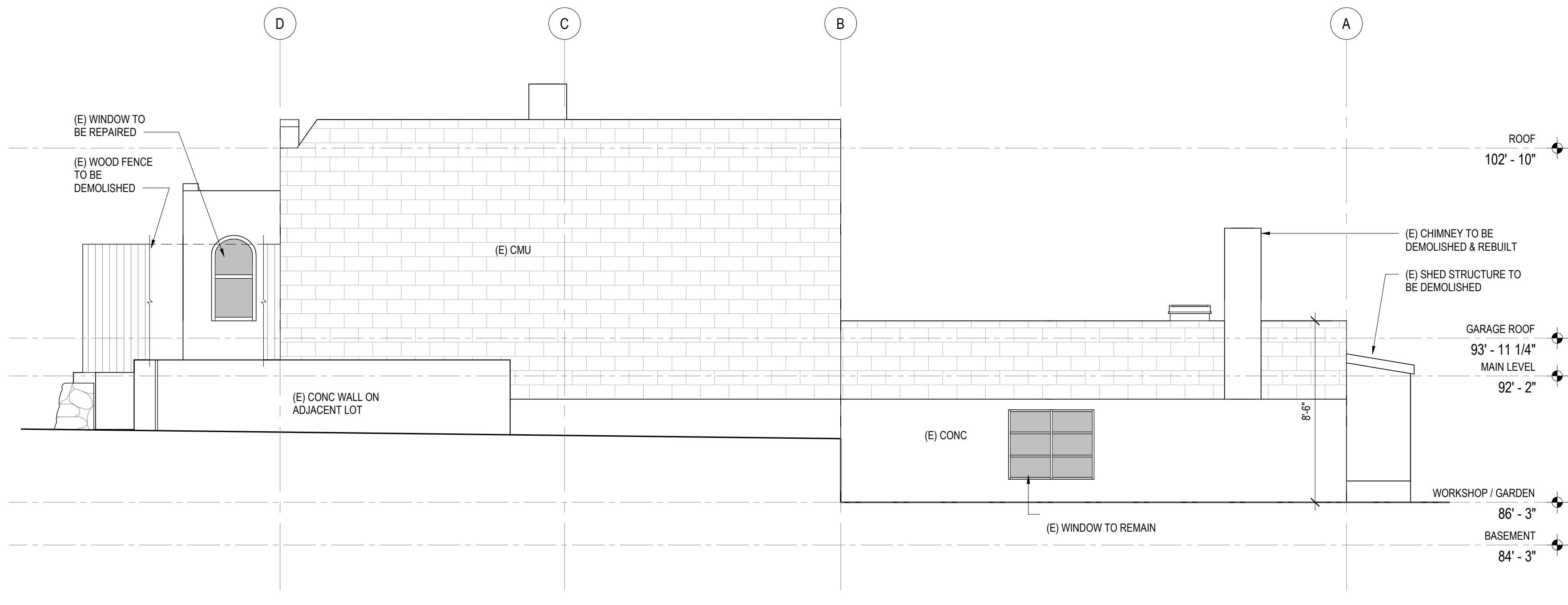
TYPICAL EXTERIOR WORK
 - PAINT BUILDING EXTERIOR WALLS, DOORS, AND TRIM (RESTORE ORIGINAL COLORS)
 - REPLACE (E) WINDOWS W/ WOOD FRAMED WINDOWS TO MATCH HISTORIC PHOTOS (U.N.O.)
 - RESTORE PARAPET COPING AND LOUVERED VENT OPENINGS
 - REFER TO STRUCTURAL NARRATIVE FOR MASONRY AND LINTEL REPAIR



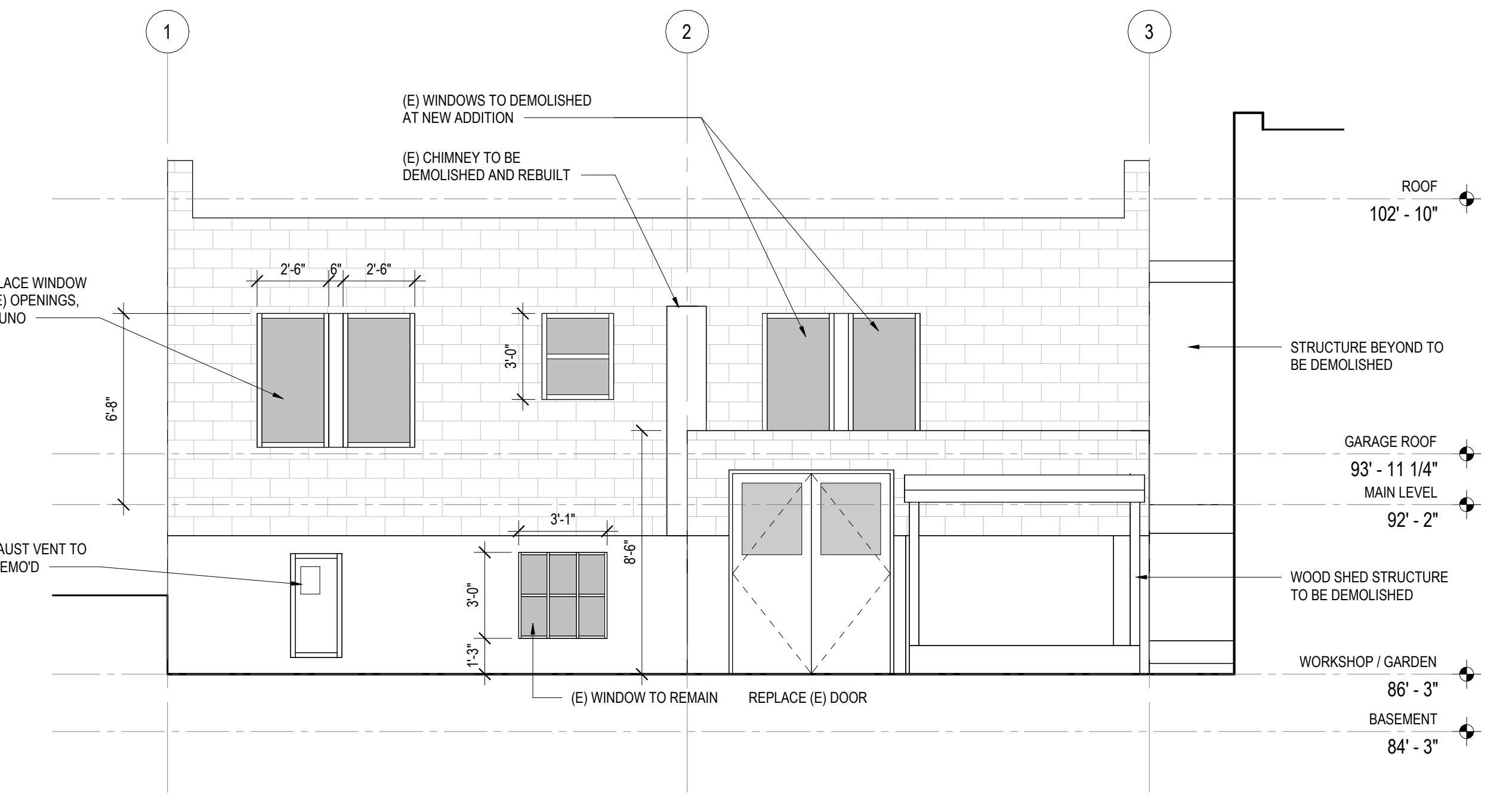
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION - EXISTING CONDITION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION - EXISTING CONDITION
SCALE: 1/4" = 1'-0"



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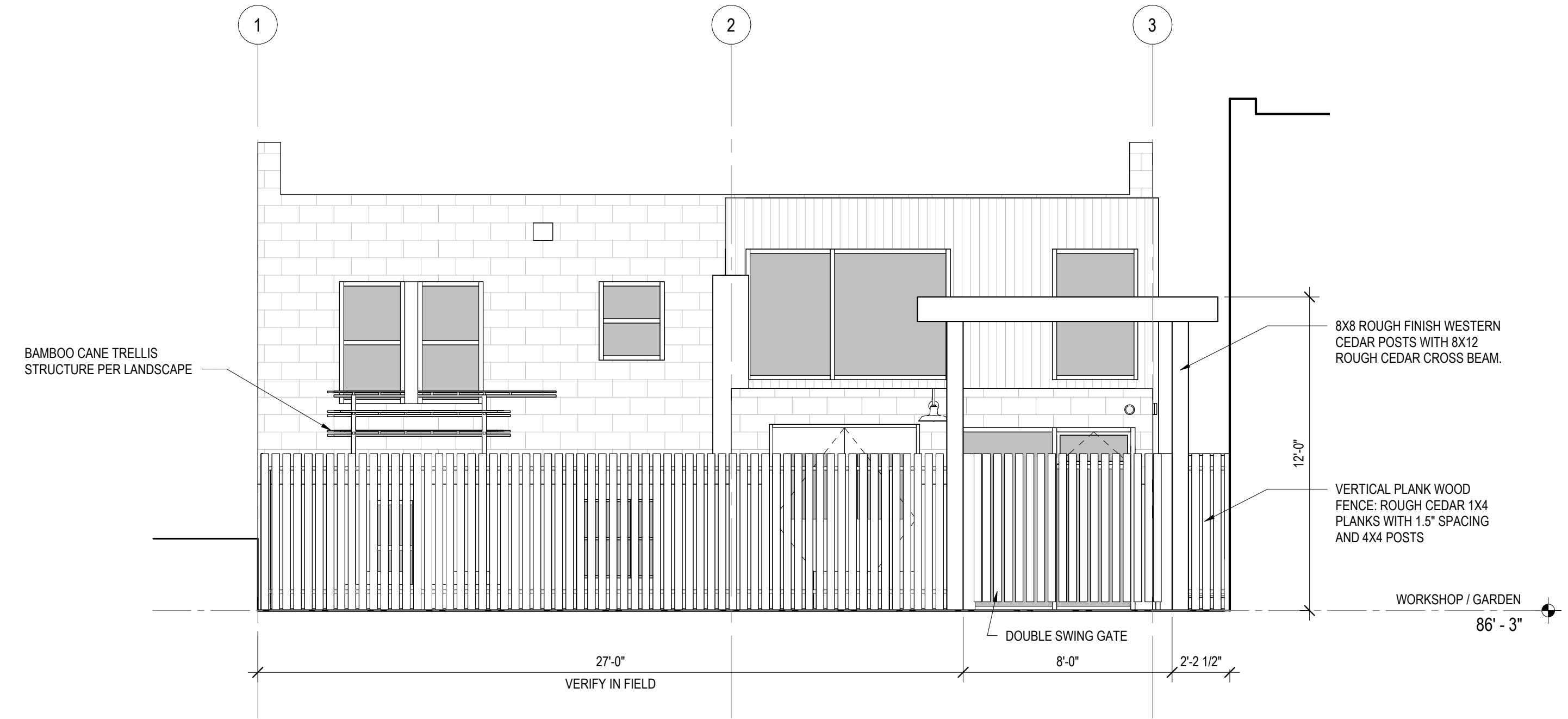
REVISIONS	NO.	DESCRIPTION	DATE
		ISRD CERTIFICATE OF APPROVAL	2/23/2024

EXTERIOR ELEVATIONS – NORTH & WEST FENCE

Project number	22013	Project Manager	JK/NL
Date	2/23/2024	Drawn by	NL
Scale	1/4" = 1'-0"	Checked by	Checklar

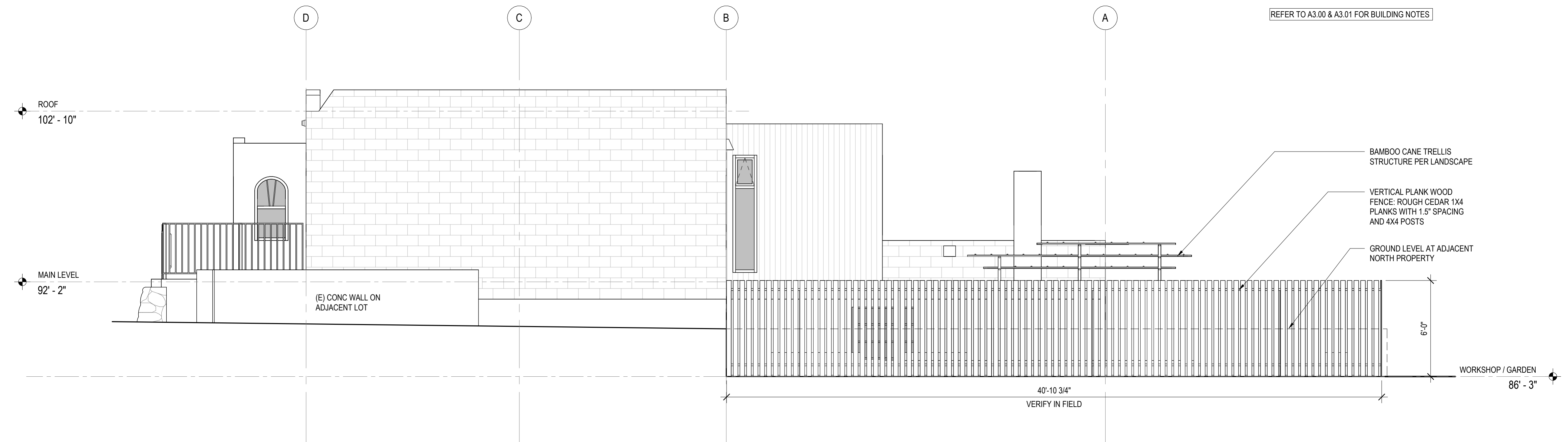
A3.02

REFER TO A3.00 & A3.01 FOR BUILDING NOTES



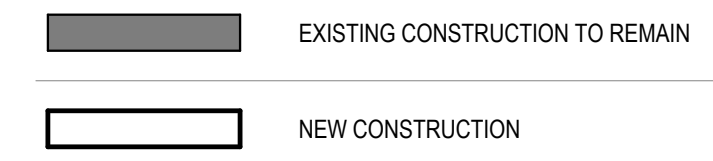
2 WEST ELEVATION – FENCE
SCALE: 1/4" = 1'-0"

REFER TO A3.00 & A3.01 FOR BUILDING NOTES



1 NORTH ELEVATION – FENCE
SCALE: 1/4" = 1'-0"

SECTION LEGEND



Official
Stamps:

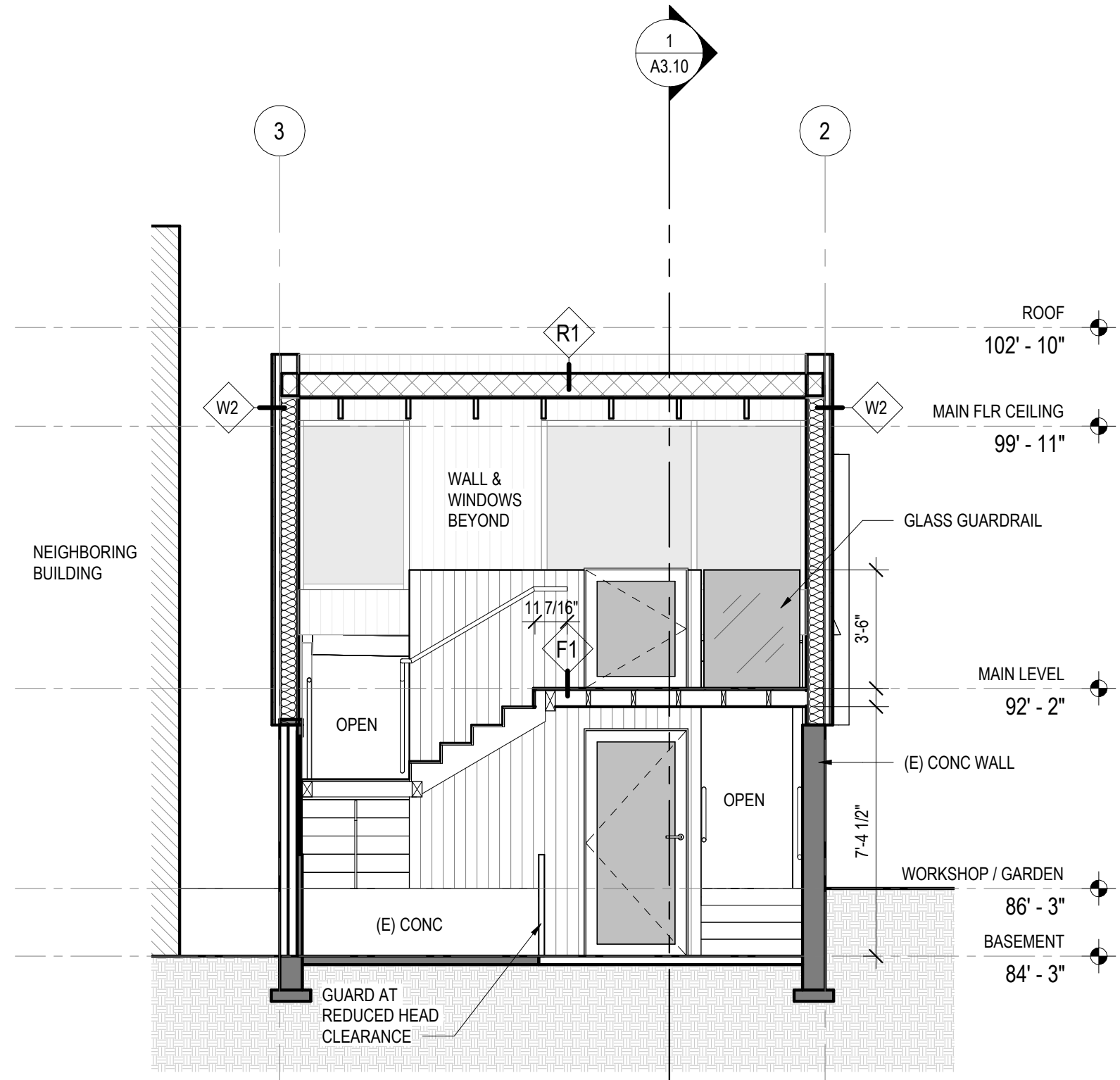
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REVISIONS	NO.	DESCRIPTION	DATE

Project number	22013
Date	2/23/2024
Project Manager	JK/NL
Drawn by	NL
Checked by	

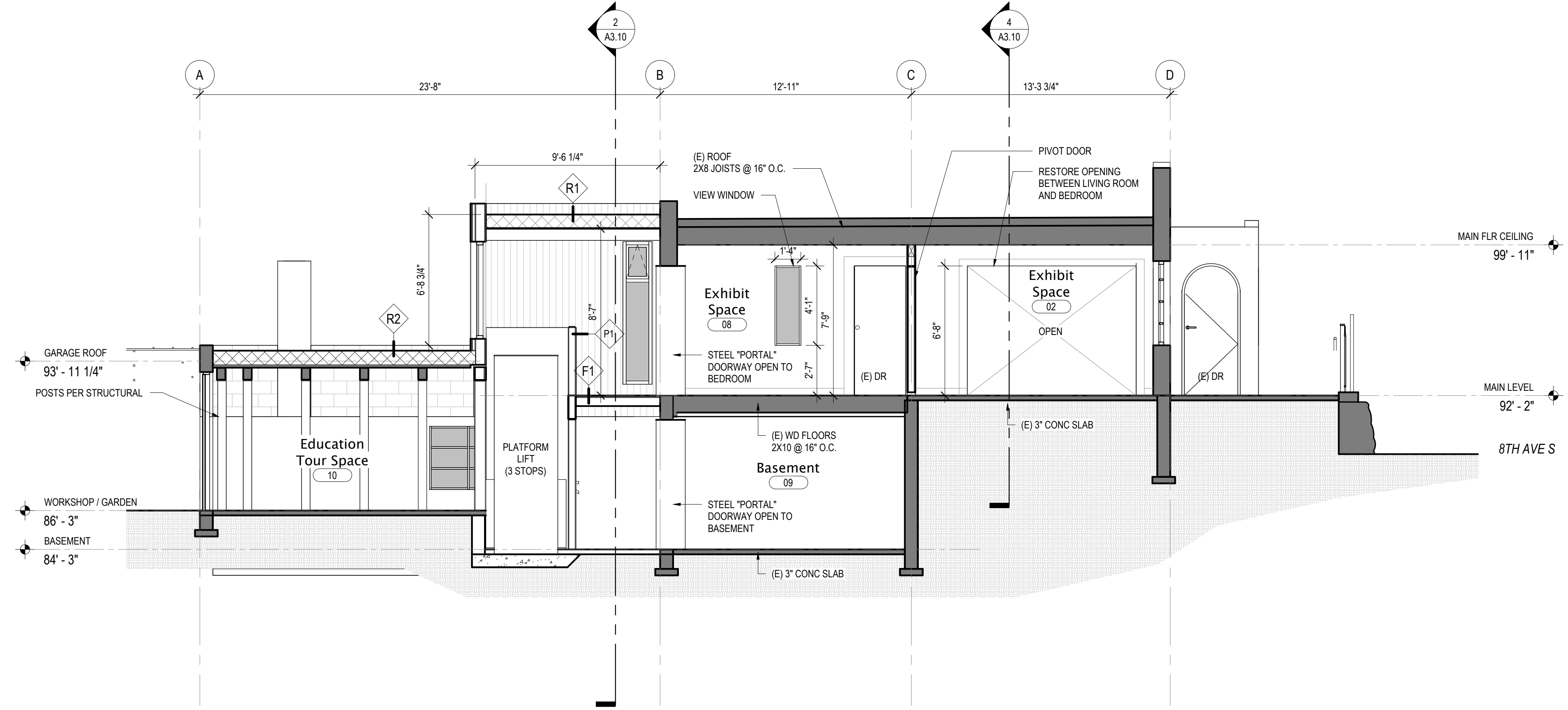
BUILDING SECTIONS	A3.10	Scale	As indicated

ISRD CERTIFICATE OF APPROVAL
2/23/2024



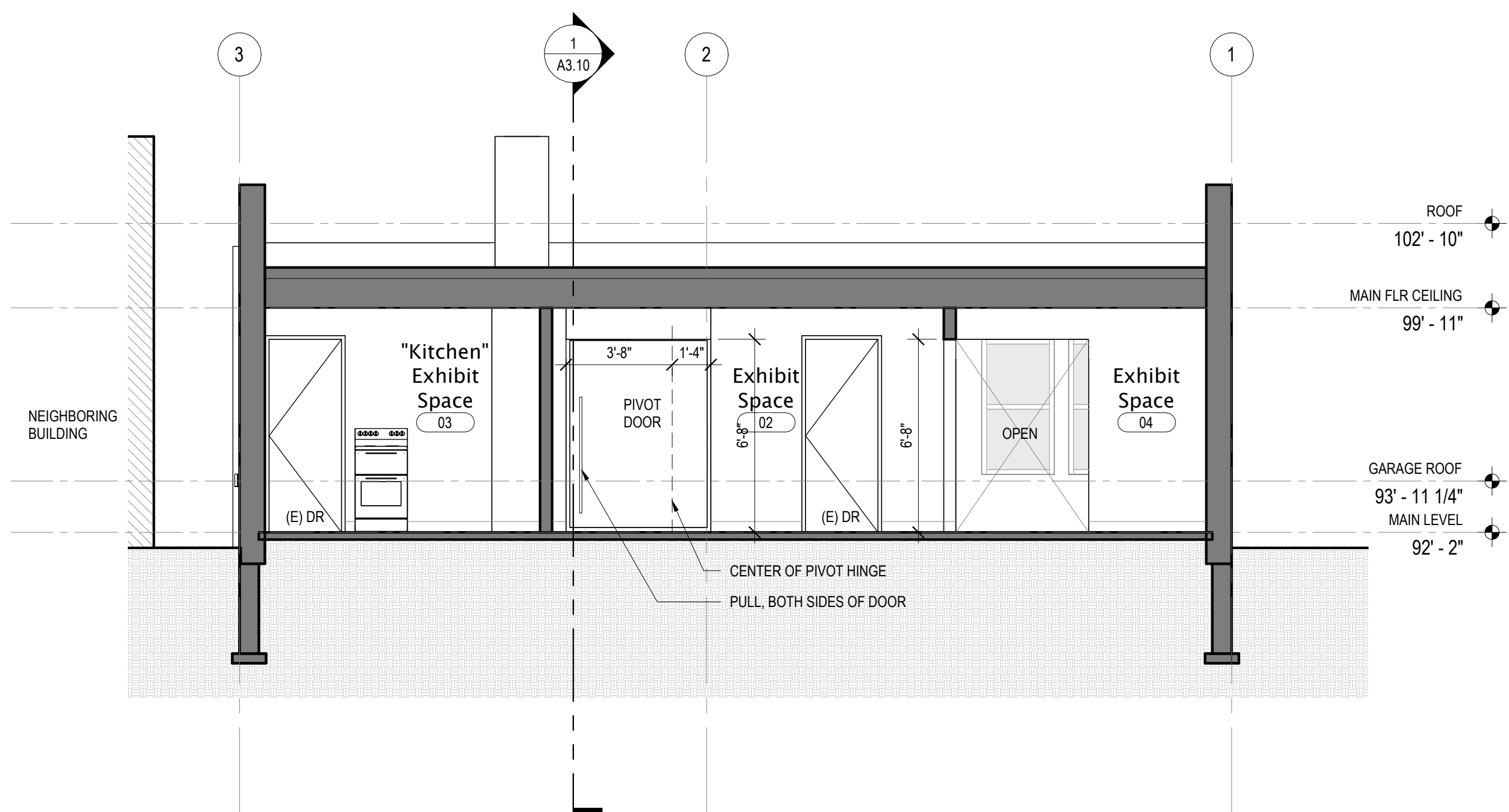
2 NORTH-SOUTH SECTION THRU ADDITION

SCALE: 1/4" = 1'-0"



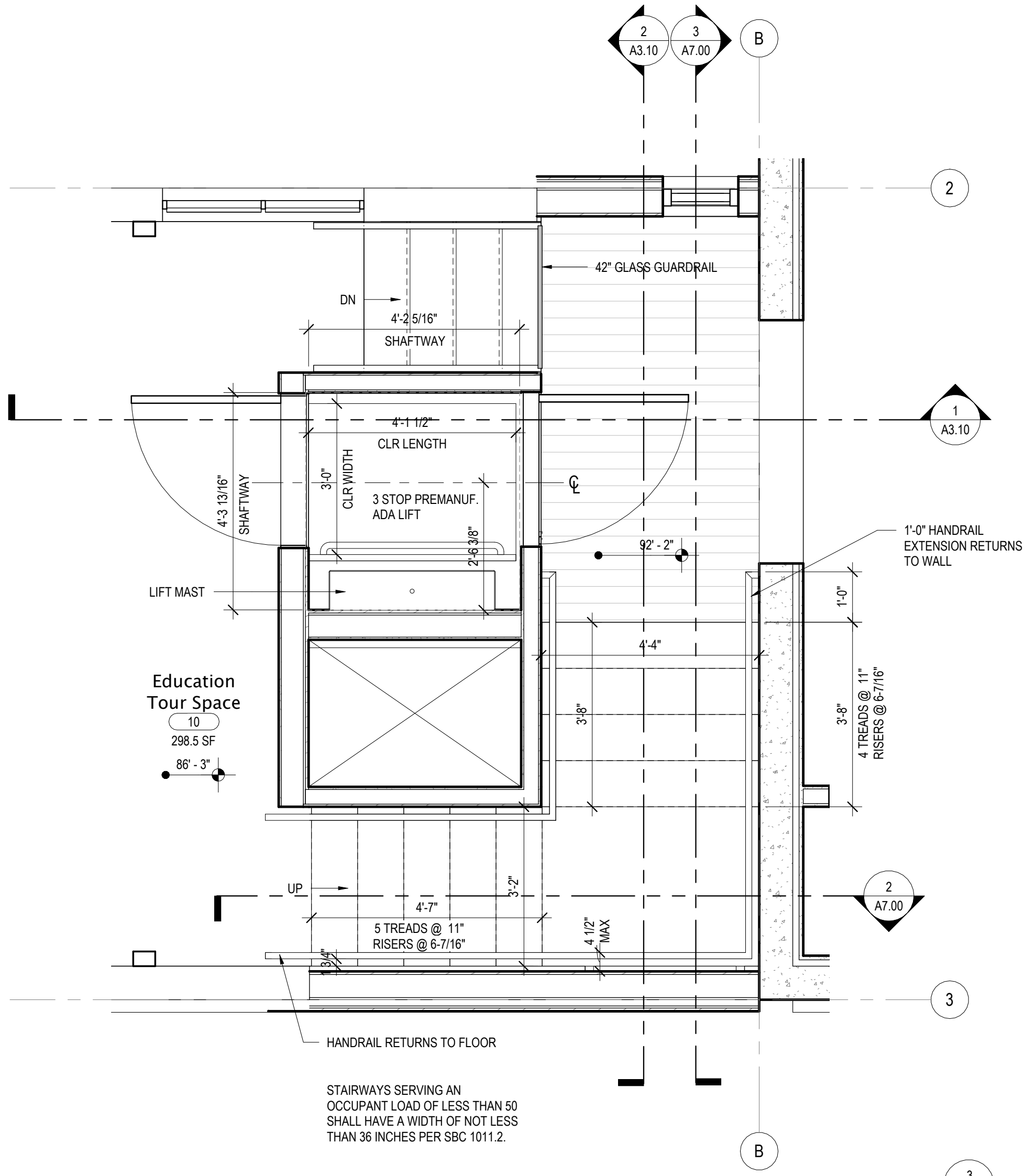
1 EAST WEST SECTION

SCALE: 1/4" = 1'-0"



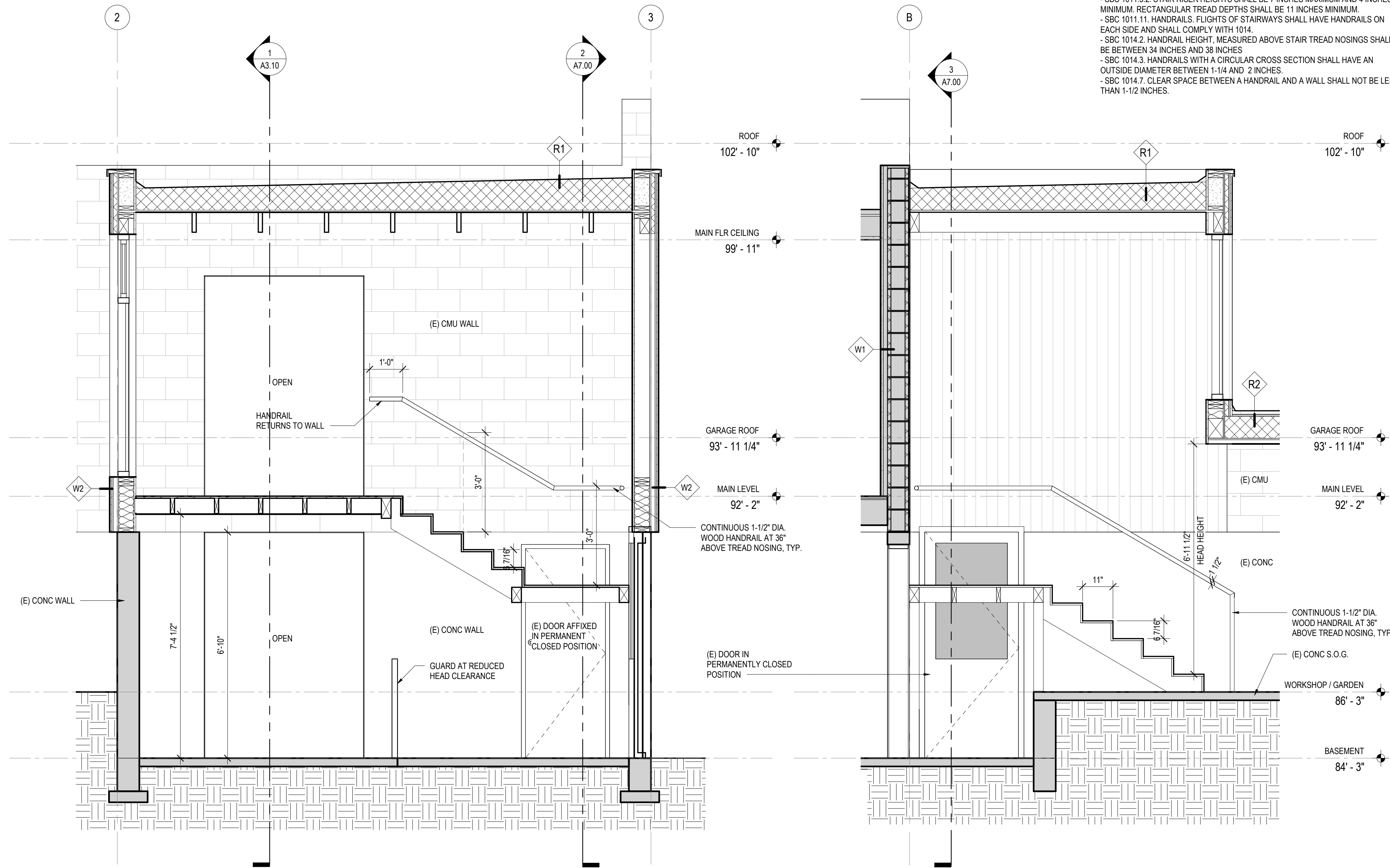
4 NORTH-SOUTH SECTION THRU HOUSE

SCALE: 1/4" = 1'-0"



ENLARGED PLAN - STAIR AT ADDITION

SCALE: 1/2" = 1'-0"



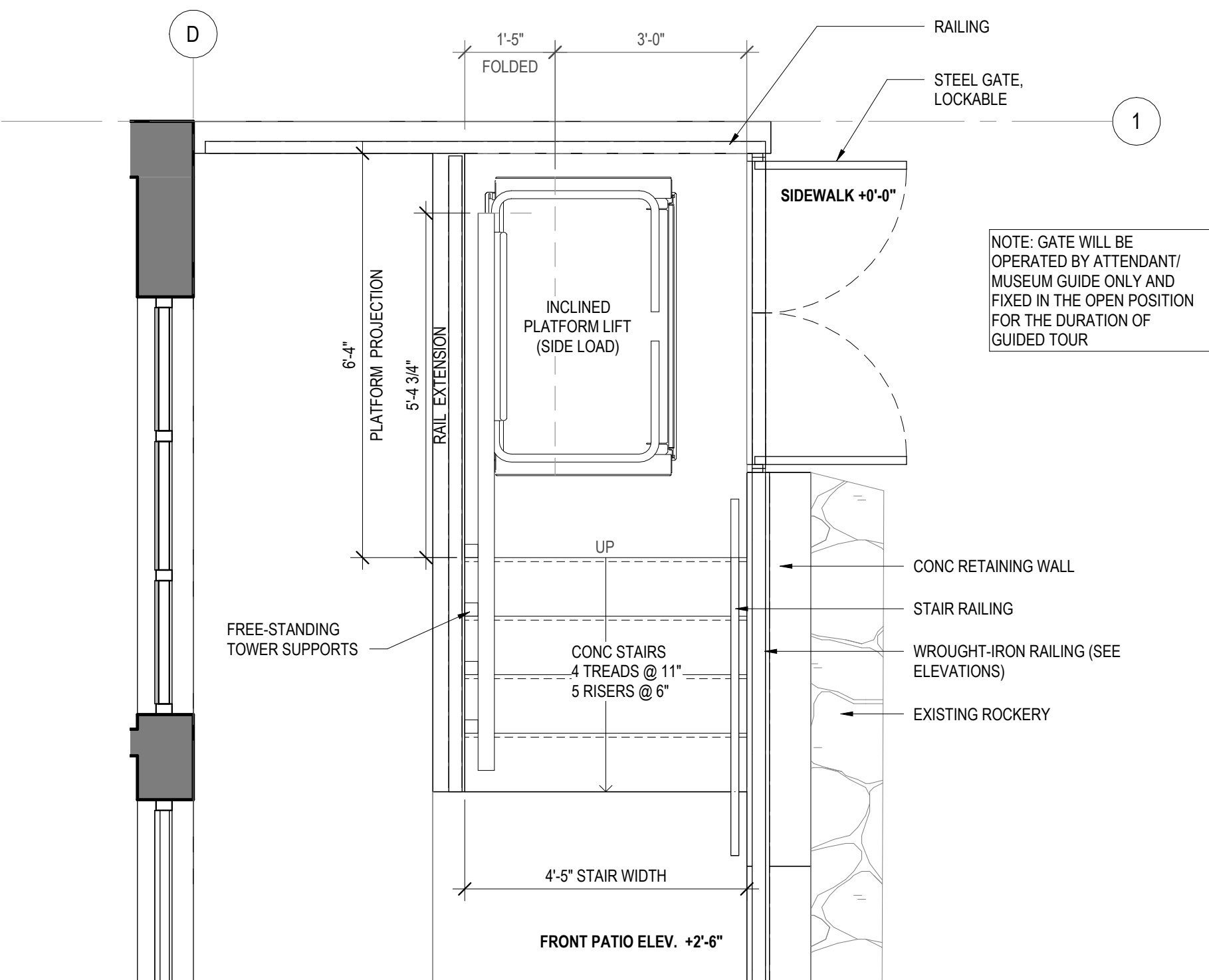
N-S SECTION THRU STAIR

SCALE: 1/2" = 1'-0"

E-W SECTION THRU STAIR

SCALE: 1/2" = 1'-0"

STAIR NOTES
 - SBC 1011.2. STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES PER SBC 1011.2.
 - SBC 1011.5.2. STAIR RISER HEIGHTS SHALL BE 7 INCHES MAXIMUM AND 4 INCHES MINIMUM. RECTANGULAR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM.
 - SBC 1011.11. HANDRAILS. FLIGHTS OF STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE AND SHALL COMPLY WITH 1014.
 - SBC 1014.2. HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS SHALL BE BETWEEN 34 INCHES AND 38 INCHES.
 - SBC 1014.3. HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER BETWEEN 1-1/4 AND 2 INCHES.
 - SBC 1014.7. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL SHALL NOT BE LESS THAN 1-1/2 INCHES.



ENLARGED PLAN - INCLINED PLATFORM LIFT AT 8TH AVE S

SCALE: 1/2" = 1'-0"

**SUNDBERG
KENNEDY
LY-AU YOUNG
ARCHITECTS**

1501 E MADISON, SUITE 205
SEATTLE WA 98122-4465
206.322.1130



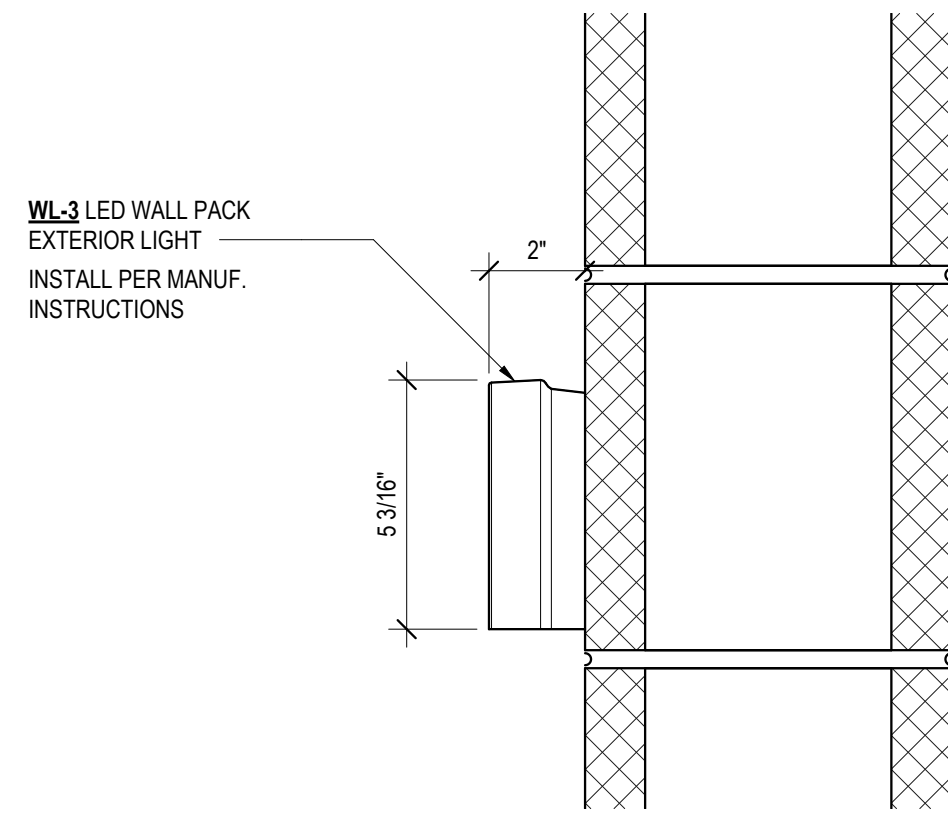
Official Stamps:

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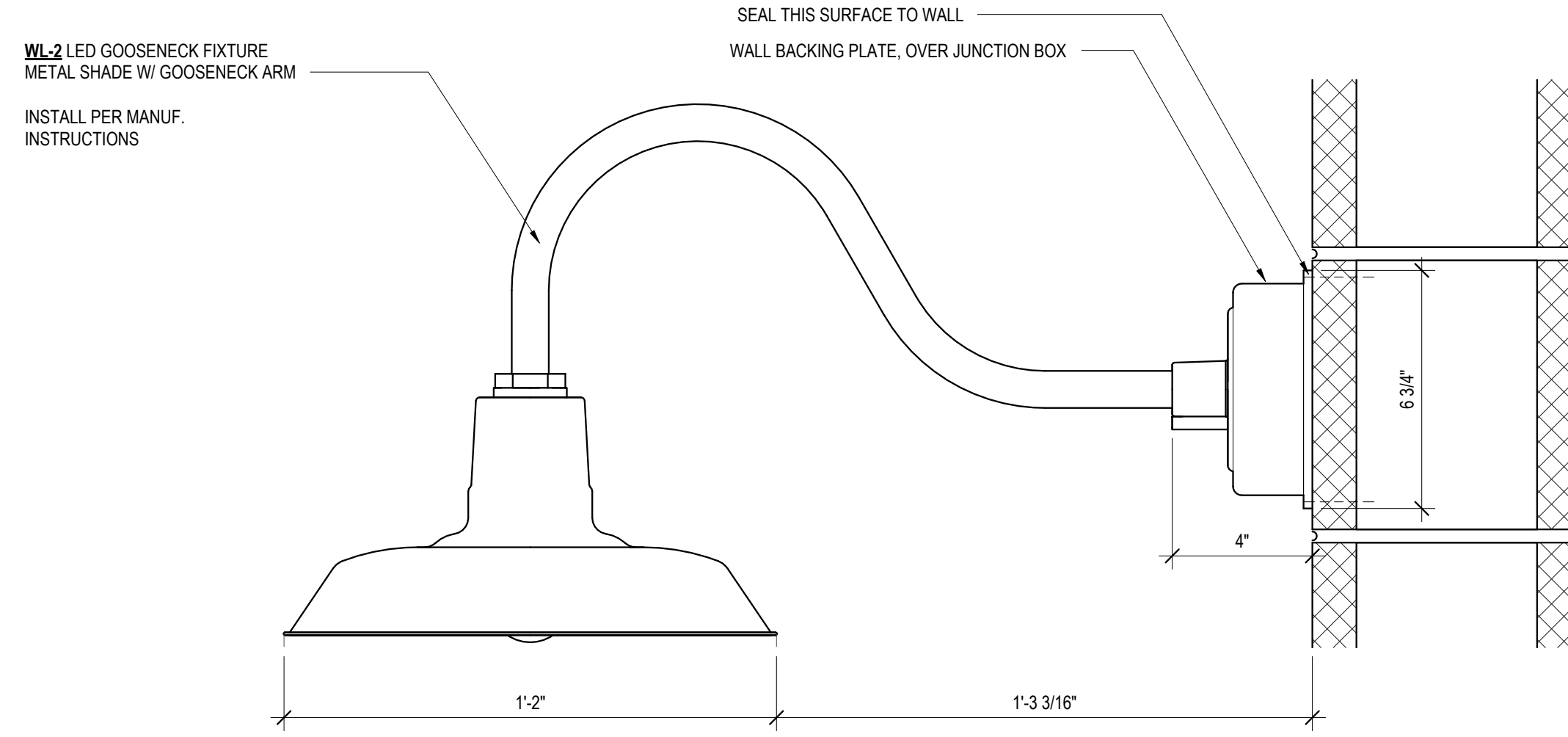
REVISIONS	NO.	DESCRIPTION	DATE	ISRD CERTIFICATE OF APPROVAL	2/23/2024
Project number	22013	Date	2/23/2024	Project Manager	JK/NL
Drawn by		Checked by			NL
Scale	1/2" = 1'-0"				Checker

VERTICAL CIRCULATION

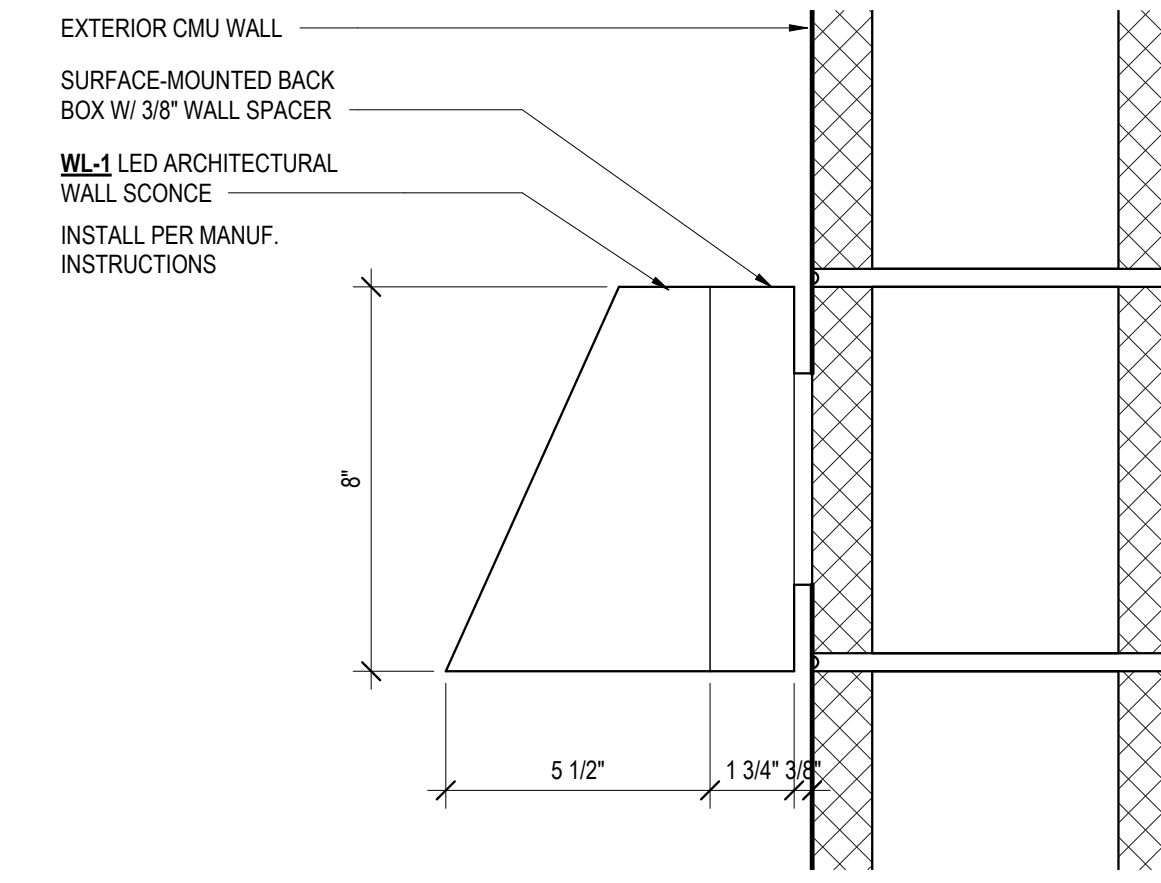
A7.00



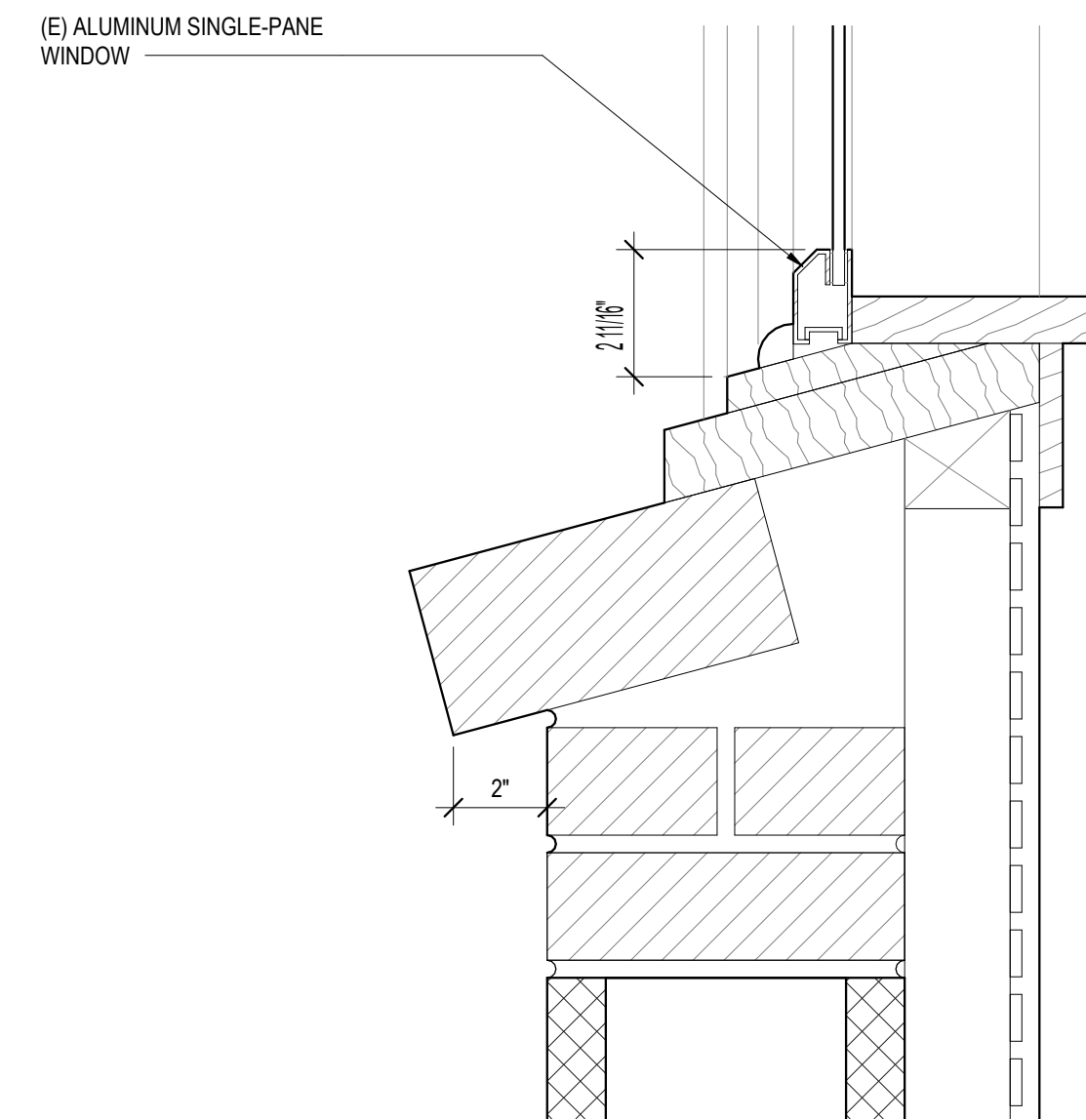
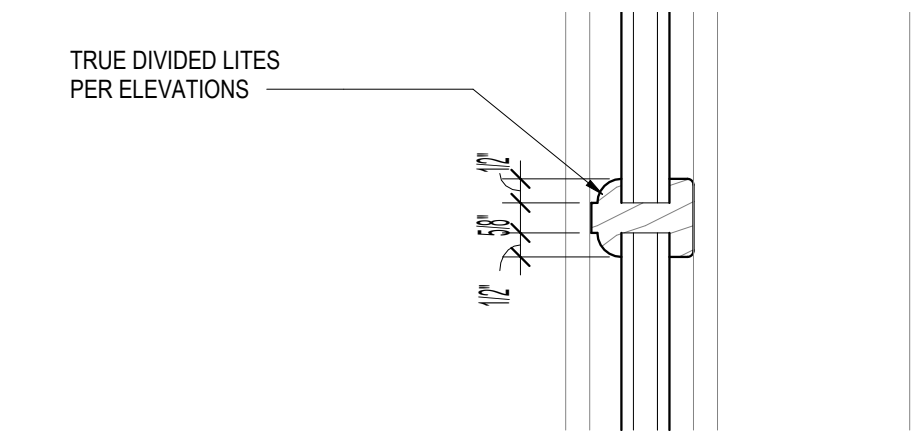
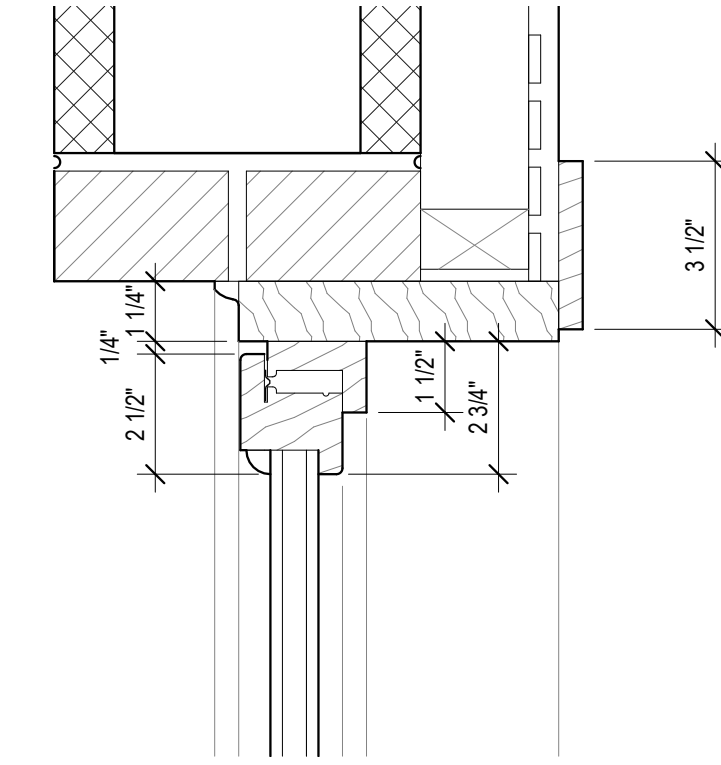
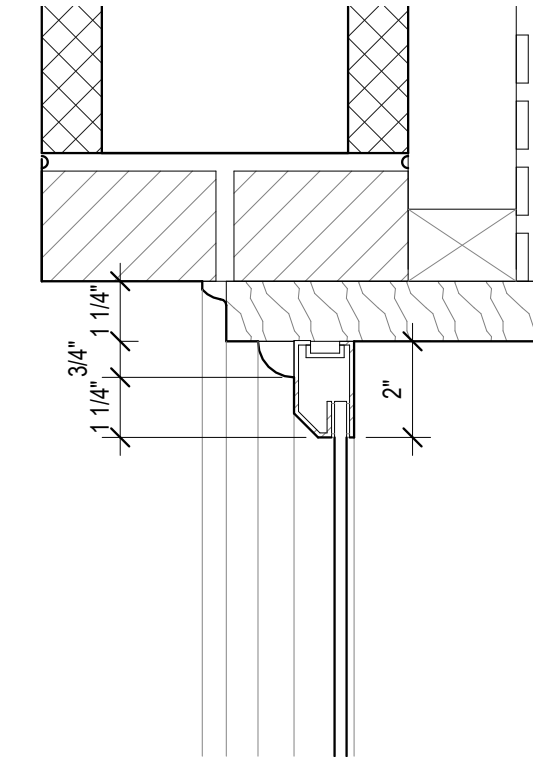
3 WL-3 ATTACHMENT PROFILE
SCALE: 3" = 1'-0"



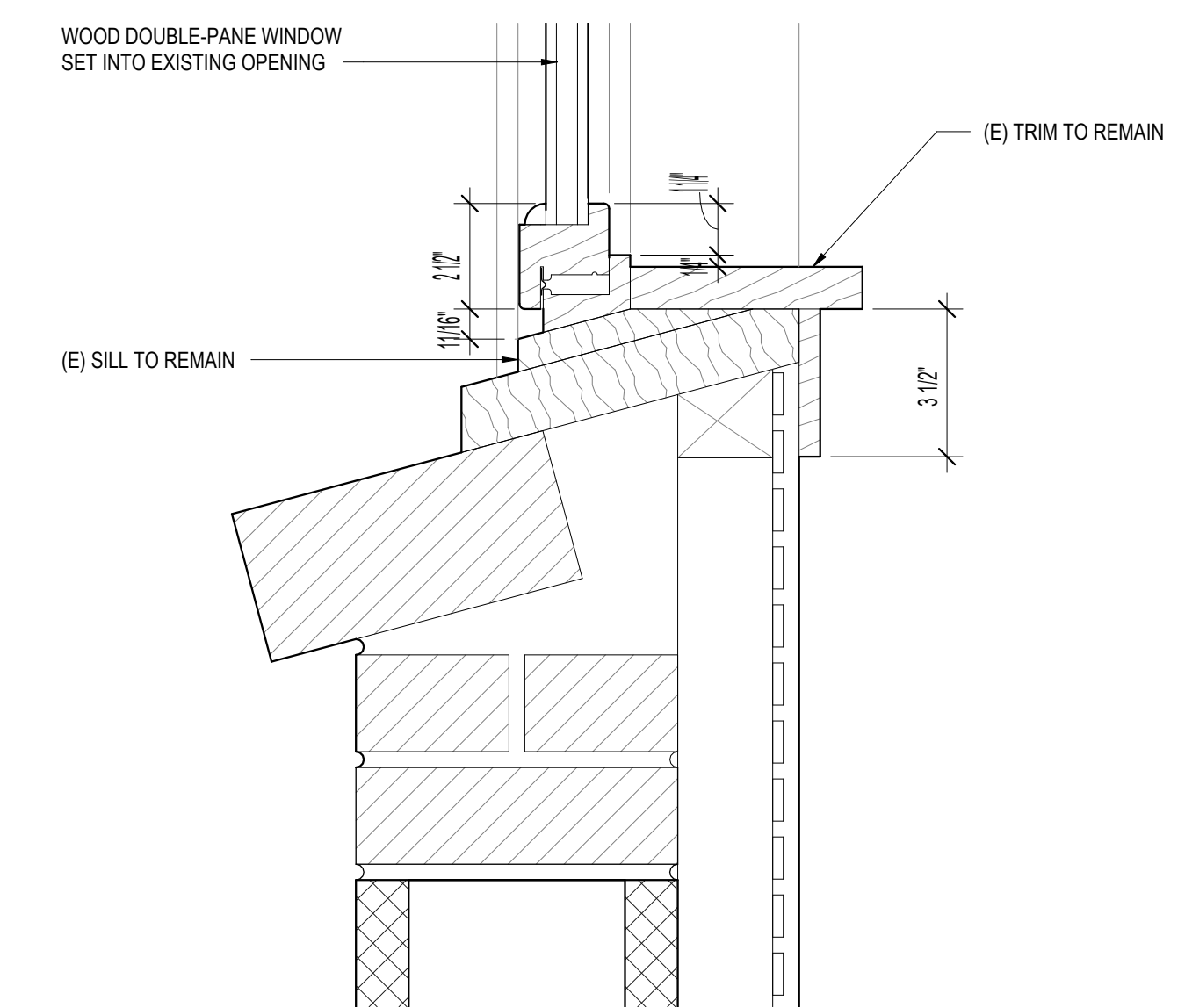
2 WL-2 ATTACHMENT PROFILE
SCALE: 3" = 1'-0"



1 WL-1 ATTACHMENT PROFILE
SCALE: 3" = 1'-0"



EXISTING



PROPOSED

NOTE: WEST WINDOWS ARE DOUBLE HUNG WINDOWS WITH SIMILAR PROFILE TO CASEMENT SHOWN.

4 TYPICAL WINDOW DETAILS - EXISTING & NEW
SCALE: 3" = 1'-0"

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		ISRD CERTIFICATE OF APPROVAL	2/23/2024

EXTERIOR DETAILS

A8.00

Scale 3" = 1'-0"

Project number	22013	Project Manager	JK/NL	Checked by	Checker
Date	2/23/2024	Drawn by	NL		



**ROICH
STRUCTURAL**

P.O. Box 28809 | Seattle, WA 98118
ro@roichstructural.com | 206.745.2967

Official
Stamps:

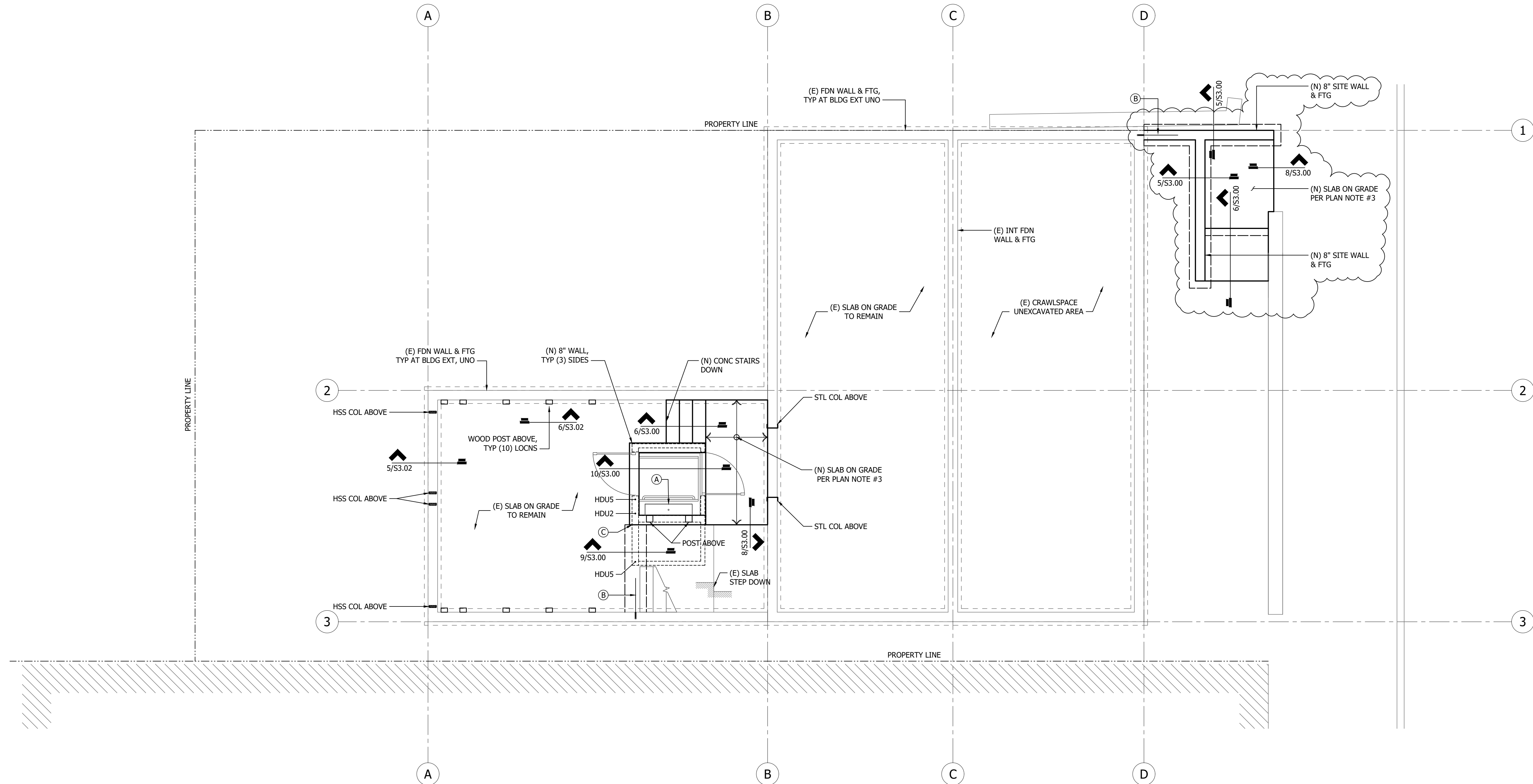
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1	Copy 1 Revisions	2/16/24	PERMIT SET
			9/22/2023

FOUNDATION PLAN

Scale
\$2.00

MS



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION PLAN NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, FINISH GRADES, AND TOP OF WALL ELEVATIONS.
- EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- TYPICAL SLAB ON GRADE SHALL BE 4" THICK, REINFORCE w/ #4 BARS @ 18"oc. PROVIDE RIGID INSULATION AT INTERIOR SPACES AND VAPOR BARRIER BELOW SLAB PER ARCHITECTURAL DRAWINGS OVER 4" MINIMUM FREE DRAINING GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACK-FILL.
- ALL FOOTINGS MUST BE CENTERED ON LOADS ABOVE AND PLACED ON FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. BOTTOM OF ALL NEW FOOTINGS SHALL BE 18" MINIMUM BELOW ADJACENT GRADE, UNO. REFER TO FOOTING SCHEDULE FOR SIZE AND REINFORCEMENT REQUIREMENTS AT ALL PAD FOOTINGS.
- HD ___ INDICATES HOLD-DOWN AT END OF SHEAR WALL ABOVE.
- REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

LEGEND

- NEW CONCRETE WALL/SLAB
- NEW CONCRETE FOOTING (HIDDEN BELOW SLAB/GRADE)
- EXISTING CONCRETE WALL/SLAB
- EXISTING CONCRETE FOOTING (HIDDEN BELOW SLAB/GRADE)
- NEW WOOD WALL FRAMING ABOVE

FOOTNOTES

- (A) REFERENCE ARCH DWGS & LIFT MANUFACTURER SPECS FOR ALL DIMENSIONS, SOIL PLACEMENT/COMPACTION, AND INSTALLATION REQUIREMENTS. LIFT MANUFACTURER TO PROVIDE FINAL SITE SPECIFIC SHOP DRAWINGS FOR DESIGN COORDINATION AND APPROVAL PRIOR TO PROCEEDING WITH CONSTRUCTION.
- (B) PROVIDE NEW #4 x 2'-2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW WALL FOOTING REINFORCING PER 7/S3.00.
- (C) STEPPED FOOTING w/ ADDITIONAL BENT DOWELS BETWEEN CONTINUOUS FOOTING AND LIFT WALL FOOTING PER DETAIL 11/S3.00.



Official
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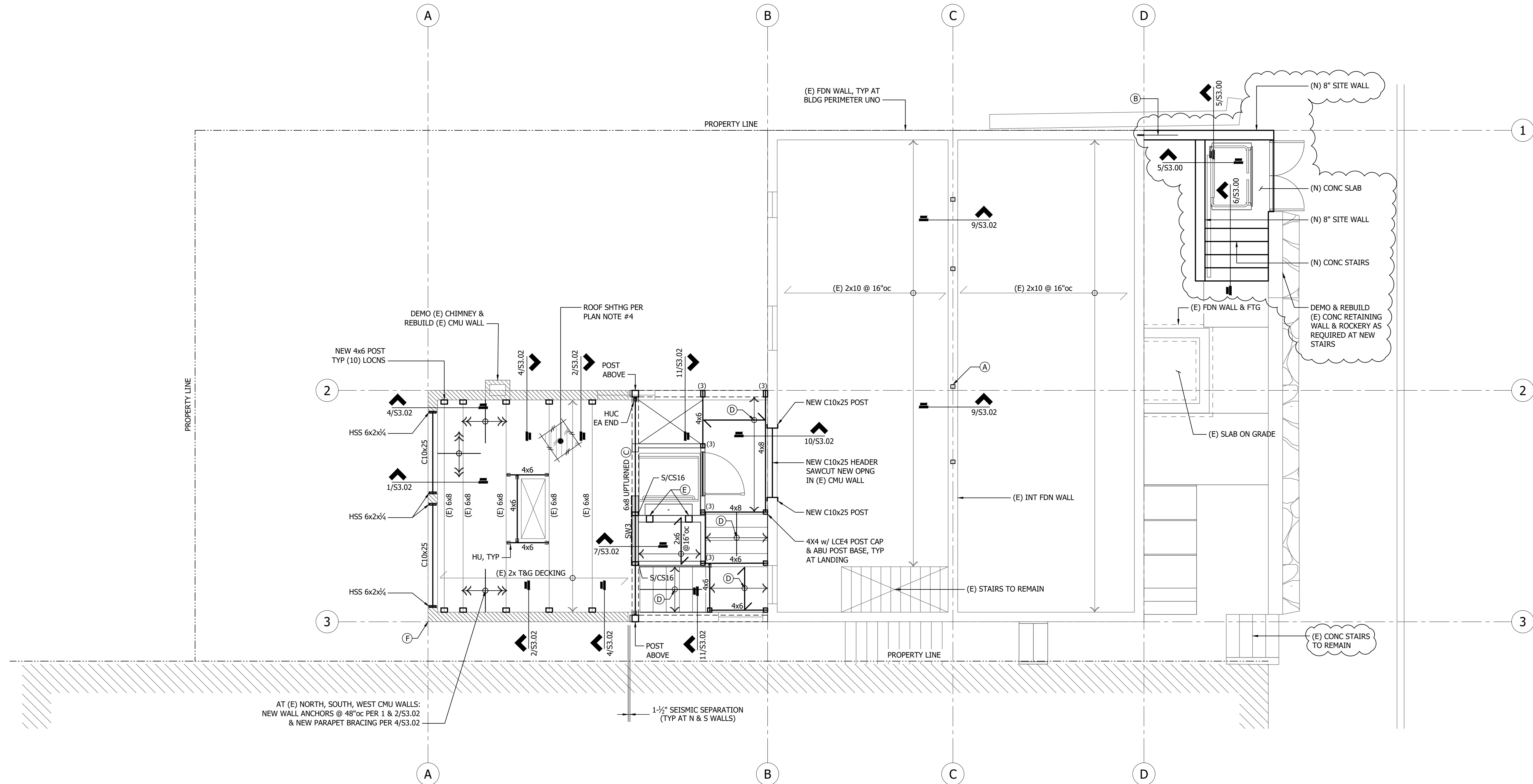
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NO.	DESCRIPTION	DATE	FOR CONSTRUCTION
1	Copy 1 Revisions	2/16/24	PERMIT SET

LOWER ROOF / FLOOR FRAMING PLAN

S2.01

Scale
1/8" = 1'-0"



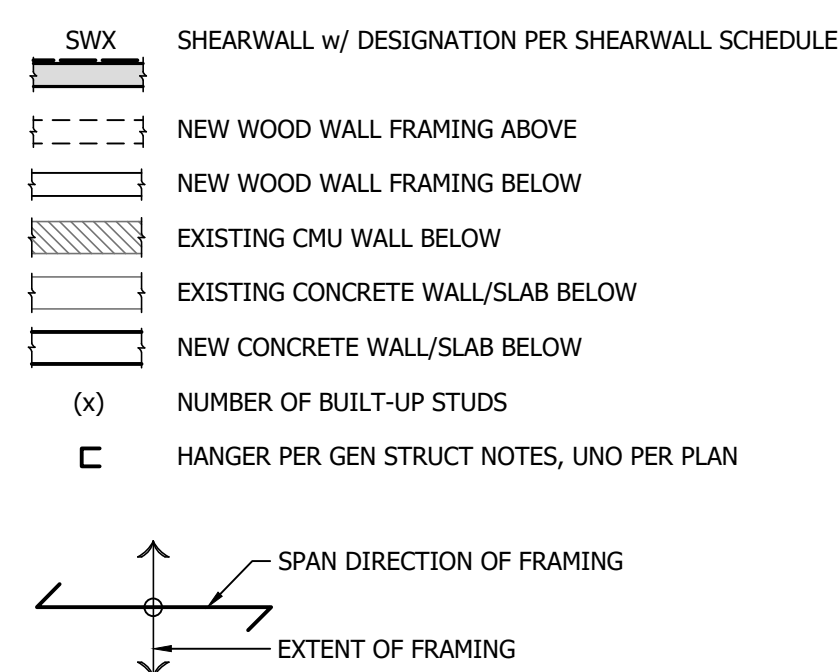
LOWER ROOF / FLOOR FRAMING PLAN

SCALE: 1/8" = 1'-0"

LOWER ROOF / FLOOR FRAMING PLAN NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- PLAN INDICATES FRAMING AT ROOF/FLOOR LEVEL AND WALLS/POSTS BELOW.
- EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- PROVIDE 19/32" APA RATED SHEATHING (32/16) OVER EXISTING ROOF DECKING. ATTACH SHEATHING WITH **8d x 1-3/4" NAILS @ 6"oc** TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12"oc TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO EXISTING ROOF DECKING DIRECTION, STAGGER PANEL JOINTS.
- ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE.
- S___ INDICATES HOLD-DOWN STRAP AT END OF SHEAR WALL ABOVE.
- REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

LEGEND



FOOTNOTES

- (A) BLOCKING TO ALIGN w/ POST ABOVE PER 9/53.02.
- (B) PROVIDE NEW #4 x 2'-2" EPOXY DOWELS TO (E) CONC WALL TO MATCH NEW WALL & FOOTING REINFORCING PER 7/53.00.
- (C) DRAG STRUT - ATTACH EXISTING DECKING TO BEAM ABOVE WITH SDS 1/2 x 8 SCREWS @ 24"oc OVER FULL LENGTH OF MEMBER.
- (D) PROVIDE STAIR AND LANDING FRAMING PER GENERAL STRUCTURAL NOTE #44 (REFER TO SHEET S1.00)
- (E) (2) 6x6 FULL HEIGHT POST w/ (2) A35 TOP & BOTTOM. LOCATE PER LIFT MANUFACTURE SPECS.
- (F) REPAIR EXISTING MASONRY AS REQUIRED PER GENERAL STRUCTURAL NOTE #19.



Official
Stamps:

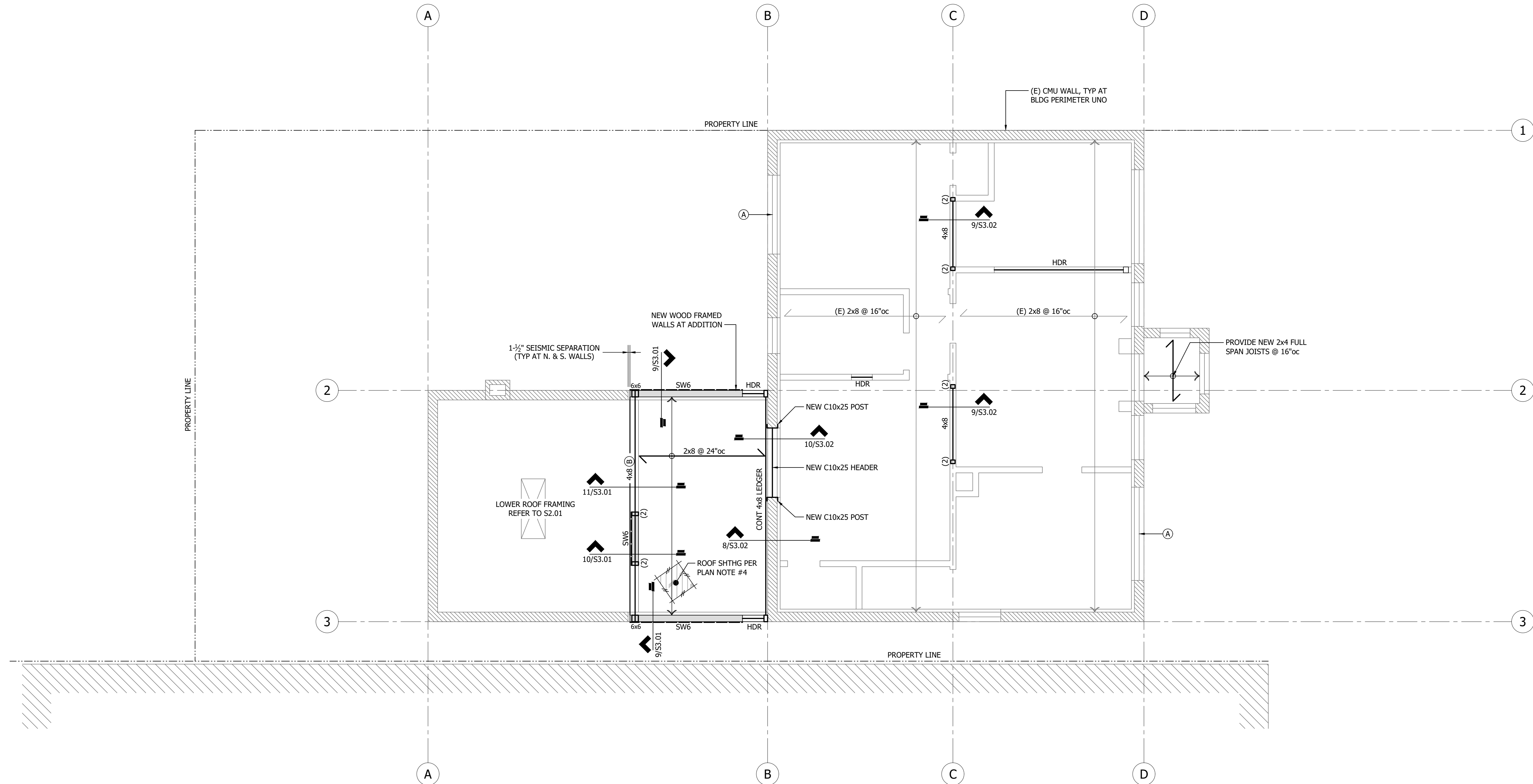
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		FOR CONSTRUCTION	
		PERMIT SET	9/22/2023

UPPER ROOF FRAMING PLAN

Project number	22019
Date	9/22/2023
Project Manager	RC
Drawn by	RC
Checked by	RC
Scale	1/8" = 1'-0"

S2.02



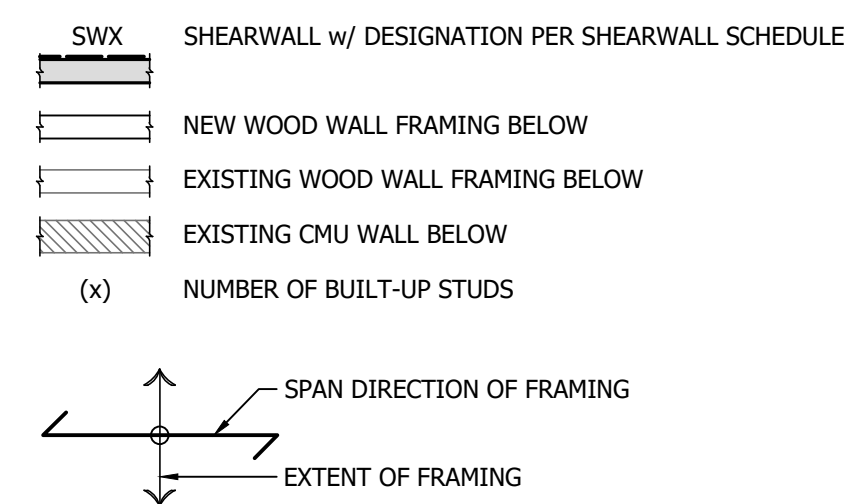
UPPER ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

UPPER ROOF FRAMING PLAN NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ROOF SLOPES & ANGLES.
- PLAN INDICATES FRAMING AT ROOF LEVEL AND WALLS/POSTS BELOW.
- EXISTING CONDITIONS ARE ASSUMED AND SHOULD BE VERIFIED BY THE CONTRACTOR. WHERE DISCOVERED CONDITIONS VARY FROM THOSE SHOWN ON PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NEW ROOF SHEATHING SHALL BE 19/32" APA RATED SHEATHING (S2/15). ATTACH SHEATHING WITH 8d NAILS @ 6" OC TO ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND @ 12" OC TO ALL INTERMEDIATE/FIELD FRAMING. PLACE LONG DIRECTION OF PLYWOOD PERPENDICULAR TO JOIST FRAMING DIRECTION, STAGGER PANEL JOINTS.
- ALL BEAMS SHALL BE FLUSH FRAMED AND ALL HEADERS DROPPED, UNO. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION NOT SHOWN PER PLAN.
- PROVIDE SOLID BEARING UNDER ALL POINT LOADS ABOVE. TYPICAL HEADERS OVER DOOR AND WINDOW OPENINGS (HDR) SHALL BE 4x6 MIN EXTERIOR, (2)2x6 MIN INTERIOR. UNLESS NOTED OTHERWISE, PROVIDE (1) FULL HEIGHT (KING) STUD AND (2) BEARING (TRIMMER) STUD AT EACH END OF BEAM/HEADER. NAIL MULTIPLE STUDS TOGETHER PER GENERAL STRUCTURAL NOTES.
- PROVIDE SIMPSON HARDWARE PCZ/EPCZ COLUMN TO BEAM CONNECTIONS, TYPICAL UNO. REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL CONNECTION MEMBER INFORMATION.
- TYPICAL STUD WALLS SHALL BE 2x6 @ 16" OC AT EXTERIOR WALLS AND 2x4'S OR 2x6'S @ 16" OC AT INTERIOR WALLS PER ARCH DRAWINGS, UNLESS NOTED OTHERWISE.
- REFER TO GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

LEGEND



FOOTNOTES

- REMOVE & REPLACE EXISTING STEEL LINTEL w/ 16x6x1/2" GALVANIZED ANGLE AS REQUIRED PER GENERAL STRUCTURAL NOTE #19, TYPICAL AT EAST & WEST WINDOW OPENINGS.
- EXTEND 4x8 BEAM CONTINUOUS TO NORTH & SOUTH INTERSECTING WALLS

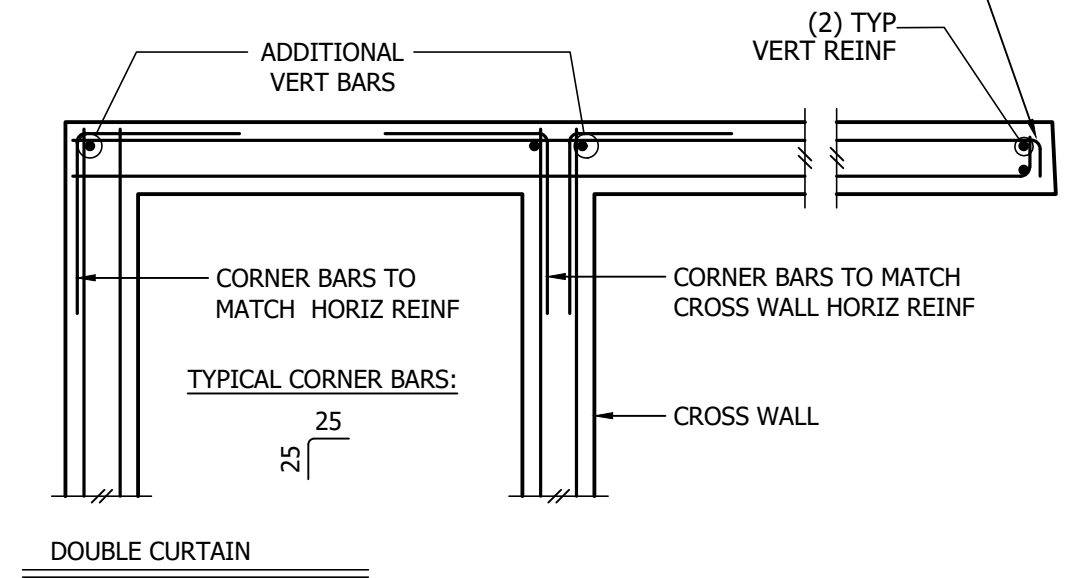
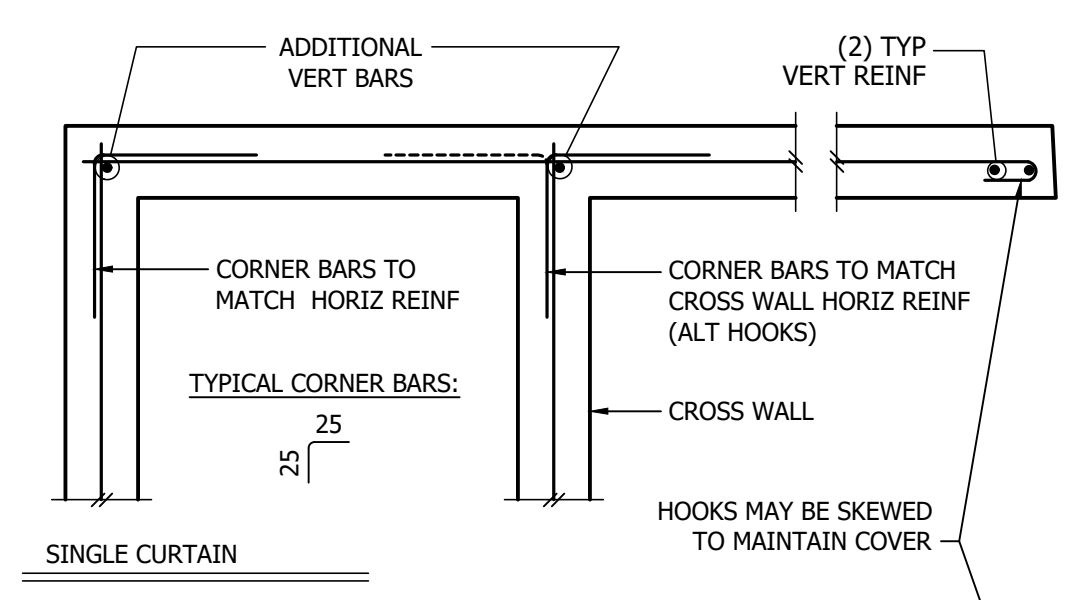
∅	centerline diameter	ft	foot, feet	OPP	opposite (hand)
+/-	PLUS OR MINUS	FTG	footing	OPT	option; optional
AB	anchor bolt	ga	gauge, gage	pcf	pounds per cubic foot
ADDL	additional	GALV	galvanized	PERP	perpendicular
ALT	alternate	GL	glue-laminated beam	PLF	pounds per linear foot
APPROX	approximate	GT	girder truss	PLY	plywood
ARCH	architect, architectural	GWB	gypsum wallboard	PREFAB	prefabricated
BLK, BLKG	block, blocking	HD	holdown	psf	pounds per square foot
BM	beam	HDR	header	psi	pounds per square inch
BOT	bottom	HF	hem fir	PSL	parallel strand lumber
BTWN	between	HGR	hanger	PT	pressure treated lumber
CLR	clearance, clear	HORIZ	horizontal	REINF	reinforce, reinforcing
CMU	concrete masonry unit	HSS	hollow structural section	REF	reference
COL	column	HT	height	REQD	required
CONC	concrete	IBC	International Building Code	SCHED	schedule, scheduled
CONN	connection, connect	INT	interior	SECT	section
CONT	CONTINUOUS	IF	inside face	SER	Structural Engineer of Record
CTR, CTRD	center, centered	JT	joint	SHTG	sheathing
DBL	double	k, kip	1,000 pounds	SIM	similar
DET	detail	ksi	kips per square inch	SOG	slab on grade
DF	douglas fir	lb, #	pound	SPECS	specifications
DIA	diameter	L	length	SQ	square
DIM	dimension	LLH	long leg horizontal	STD	standard
DS	drag strut	LLV	long leg vertical	STL	steel
DWG	drawing	LONGIT	longitudinal	STRUCT	structural
DWL	dowels	LSL	laminated structural lumber	SW	shear wall
(E)	existing	LVL	laminated veneer lumber	T&B	top and bottom
EA	each	LVL	laminated veneer lumber	T&G	tongue-and-groove
EF	each face	MAX	maximum	TEMP	temperature; temporary
EL	elevation	MECH	mechanical	THRD	threaded
EMBED	embedded, embedment	MFR	manufacturer	TRANS	transverse
ENGR	engineer	MIN	minimum	TPL	triple
EQ	equal	MISC	miscellaneous	TYP	typical
ES	each side	N	north	UNO	unless noted otherwise
EW	each way	NO, #	number	V, VERT	vertical
EXP	expansion	NTS	not to scale	w/	with
EXT	exterior	OC	on center	w/o	without
FDN	foundation	OF	outside face	WF	wide flange
FRMG	framing	OPNG	opening	WHS	welded headed stud
				WWF	welded-wire fabric

1 ABBREVIATIONS
NOT TO SCALE

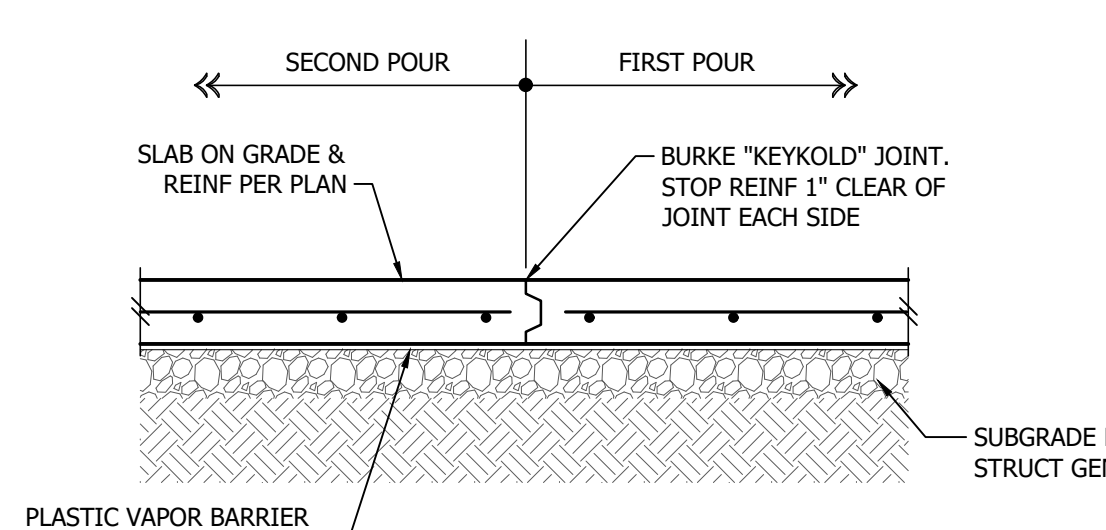
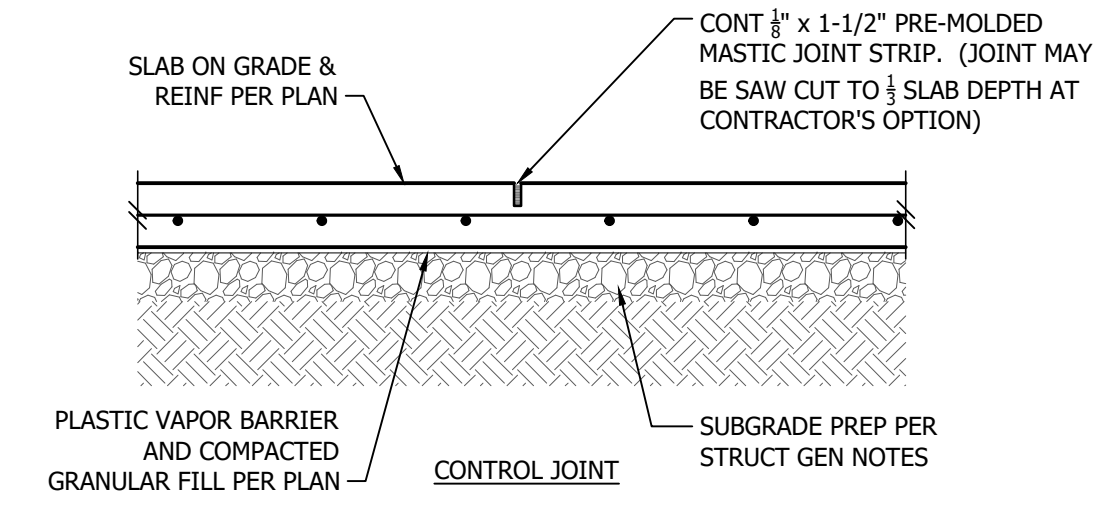
REINFORCING BAR LAP SPLICE & DEVELOPMENT LENGTH TABLE
f_c = 4,000 psi GRADE 60 REINFORCING

BAR SIZE	MIN LAP SPLICE LENGTHS (L _s)		MIN STRAIGHT DEVELOPMENT LENGTHS (L _d)		MIN HOOKED BAR EMBEDMENT LENGTHS (L _{eh})
	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS	
#3	25"	20"	20"	15"	6"
#4	32"	25"	25"	19"	7"
#5	41"	31"	31"	24"	8"
#6	49"	38"	38"	29"	10"
#7	71"	55"	55"	42"	12"
#8	81"	62"	62"	48"	13"

2 REINFORCING BAR SCHEDULE
NOT TO SCALE

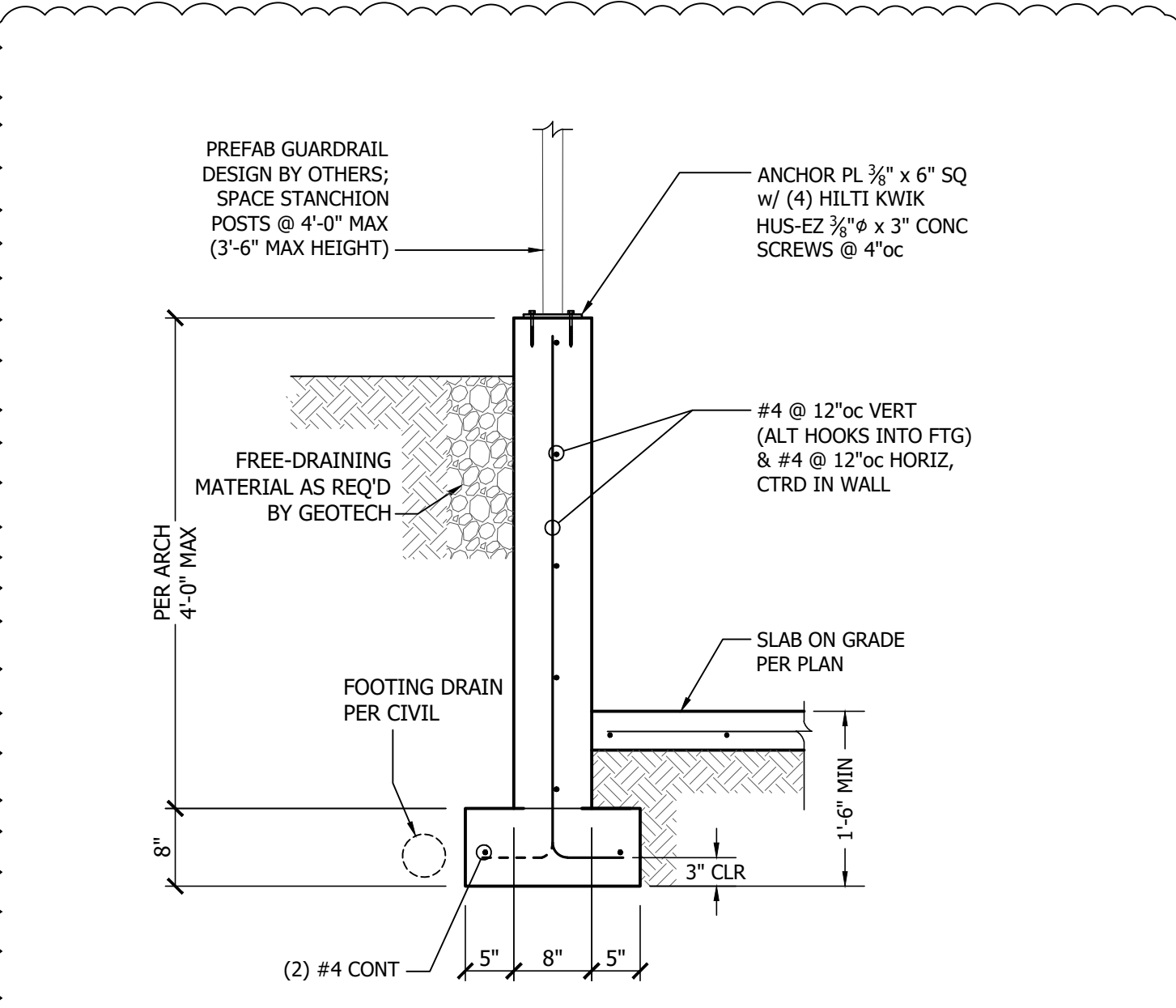


3 CORNER BARS AT CONCRETE WALLS & FOOTINGS
NOT TO SCALE

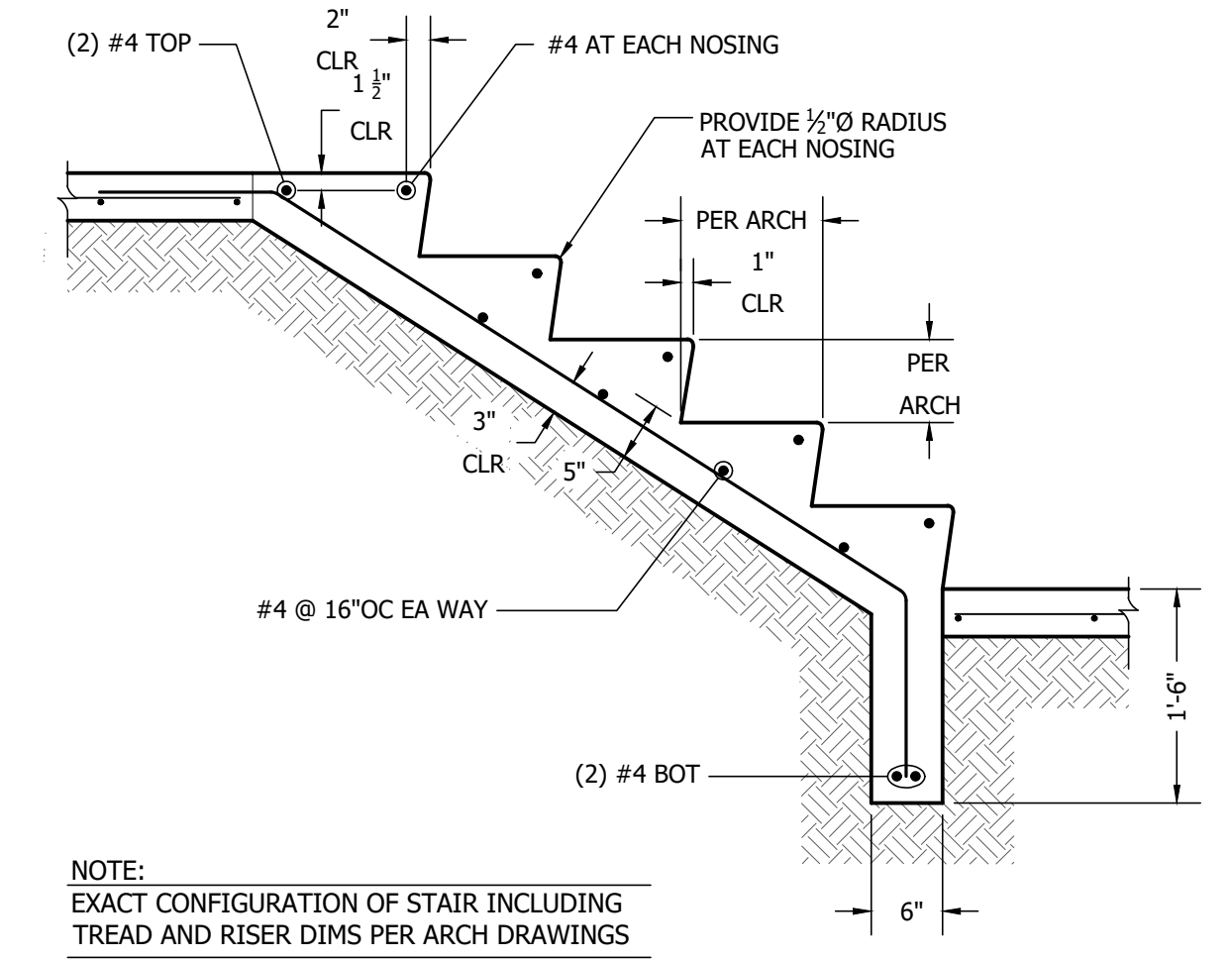


PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 200 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

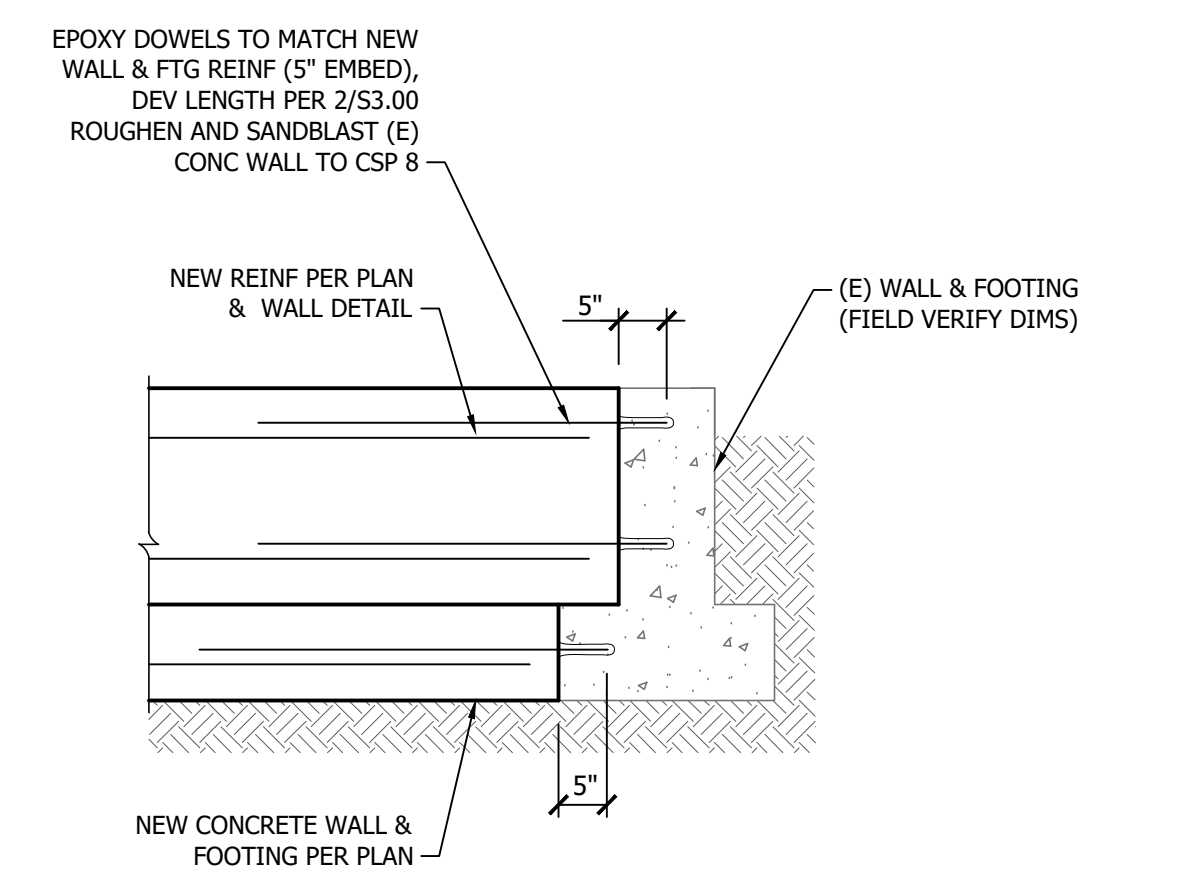
4 TYPICAL SLAB JOINTS
NOT TO SCALE



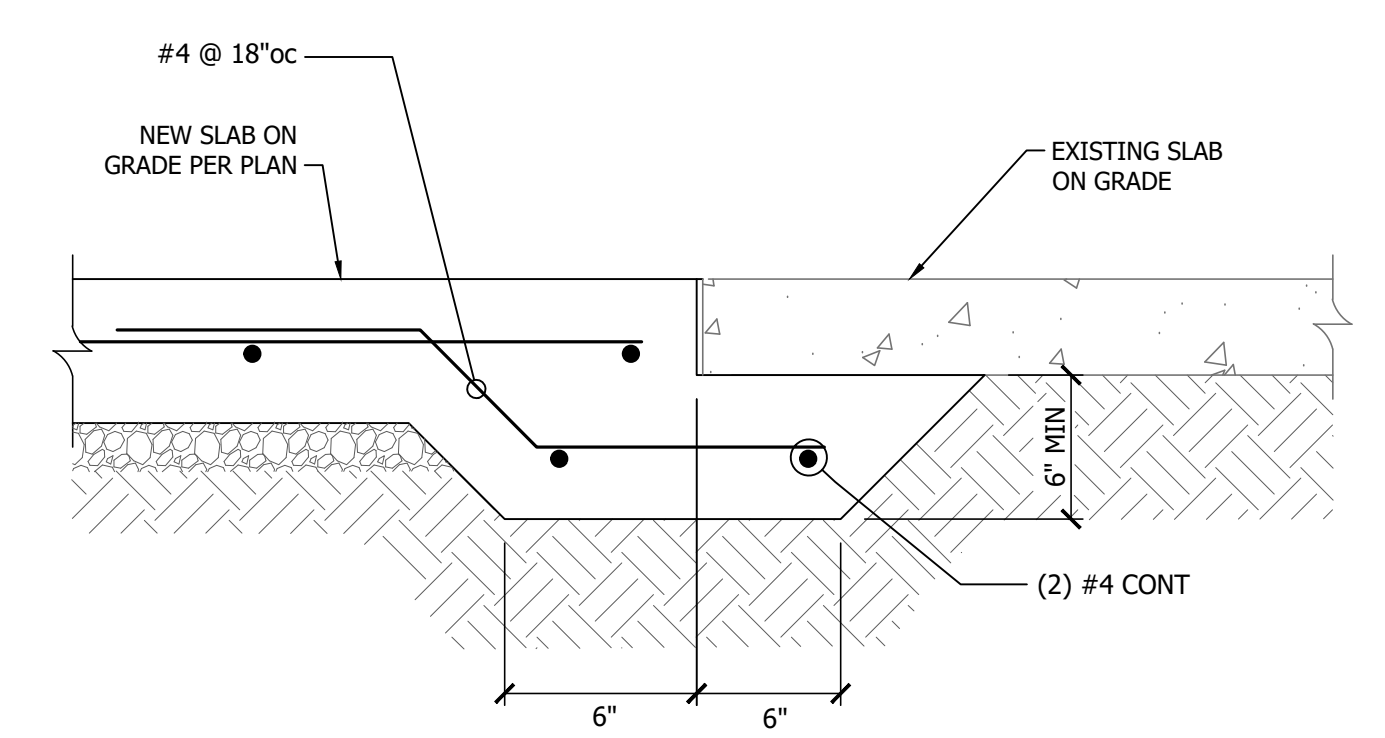
5 EXTERIOR SITE RETAINING WALL
NOT TO SCALE



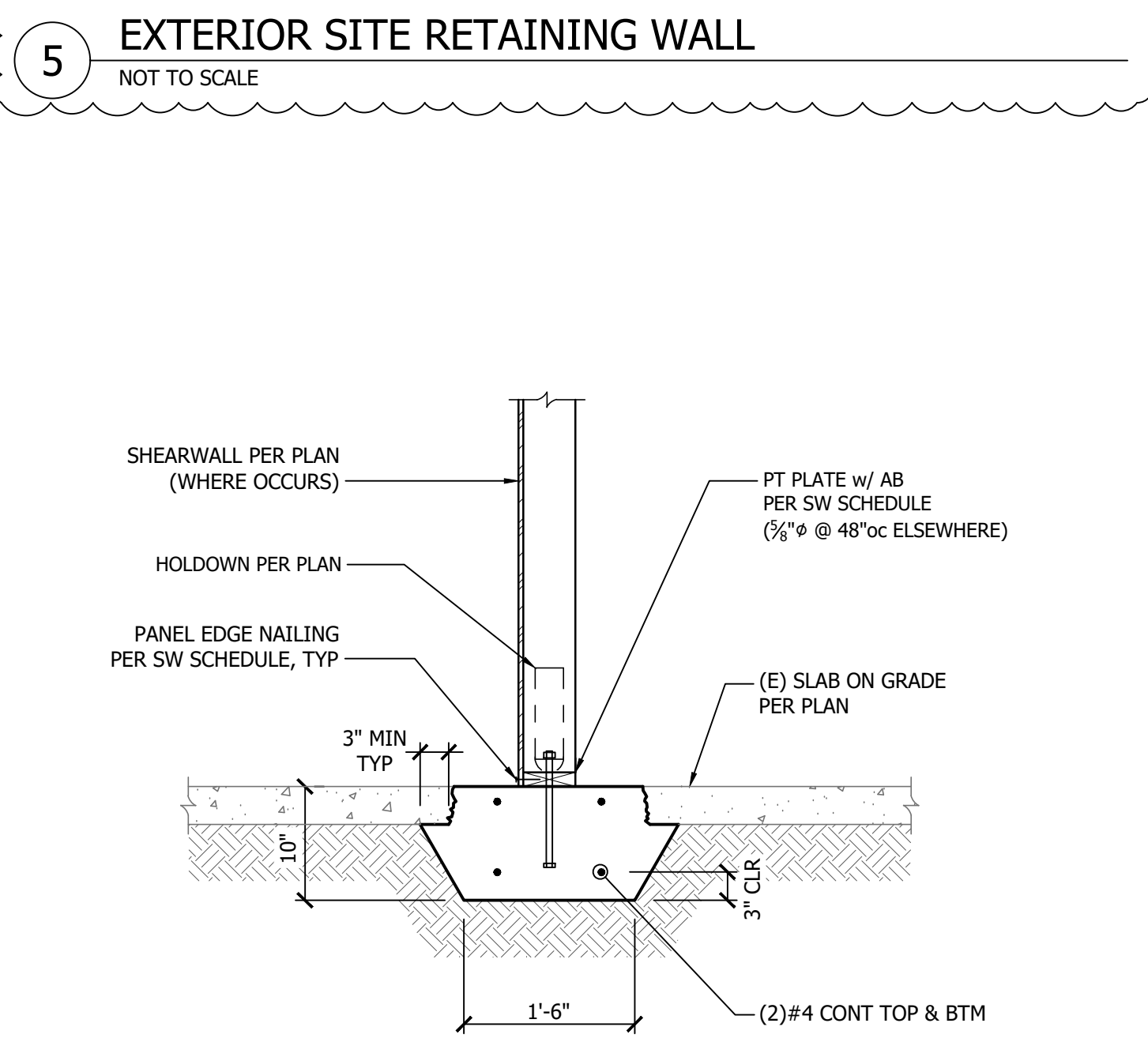
6 CONCRETE STAIRS ON GRADE
NOT TO SCALE



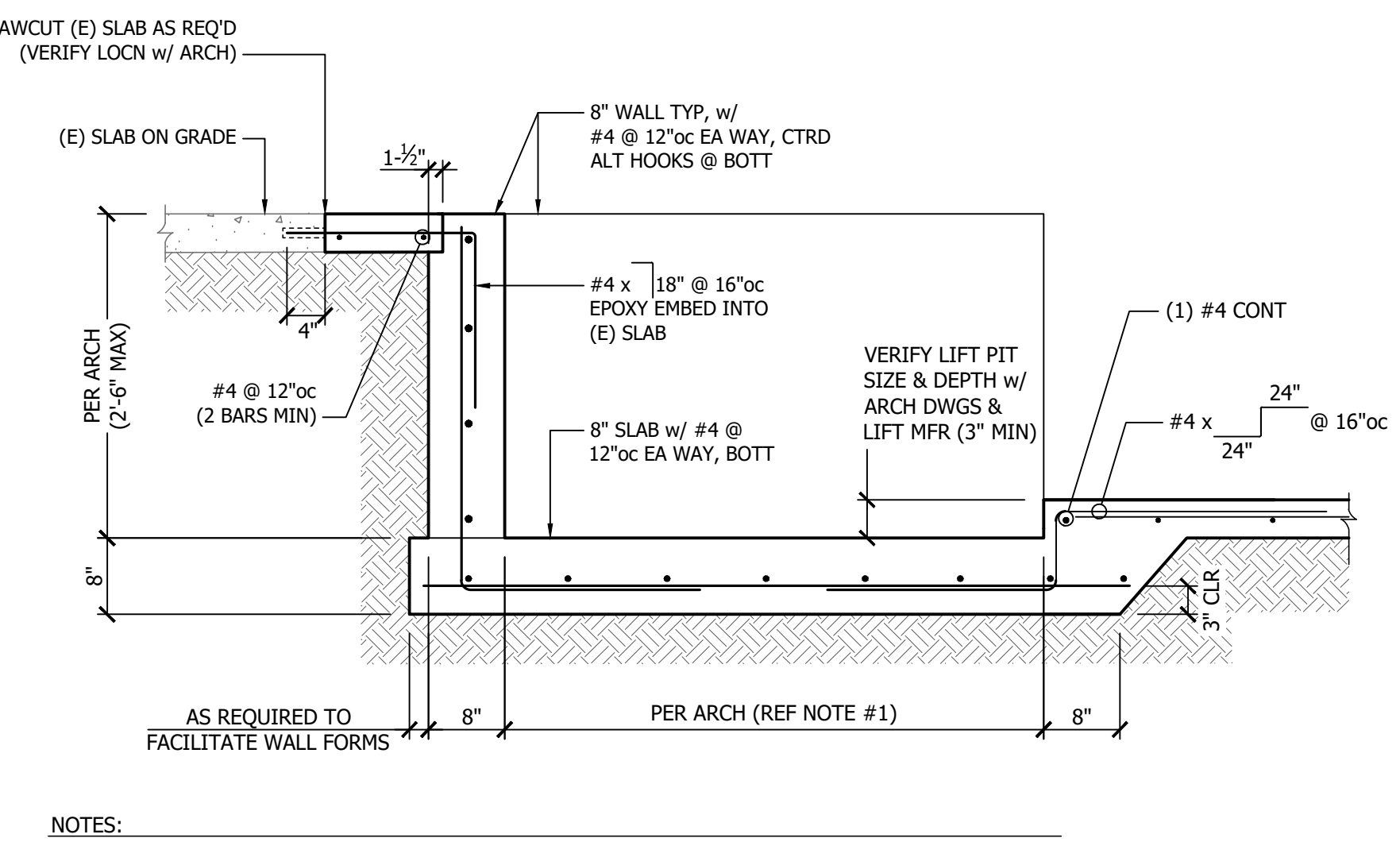
7 NEW WALL & FOOTING AT EXISTING
NOT TO SCALE



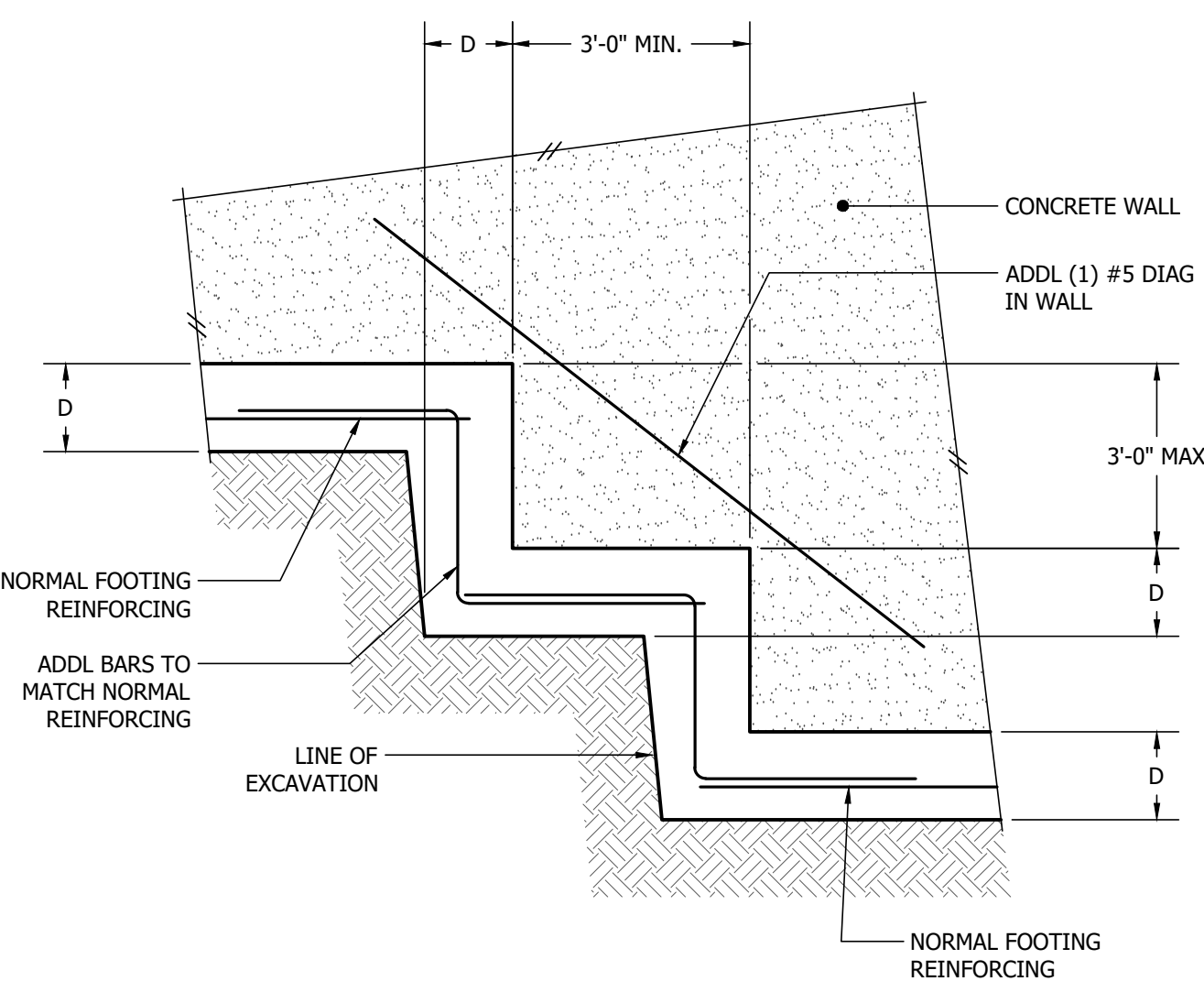
8 TYPICAL SLAB JOINT AT EXISTING SLAB
NOT TO SCALE



9 NEW SHEARWALL AT EXISTING SLAB ON GRADE
NOT TO SCALE



10 SECTION AT PLATFORM LIFT
NOT TO SCALE

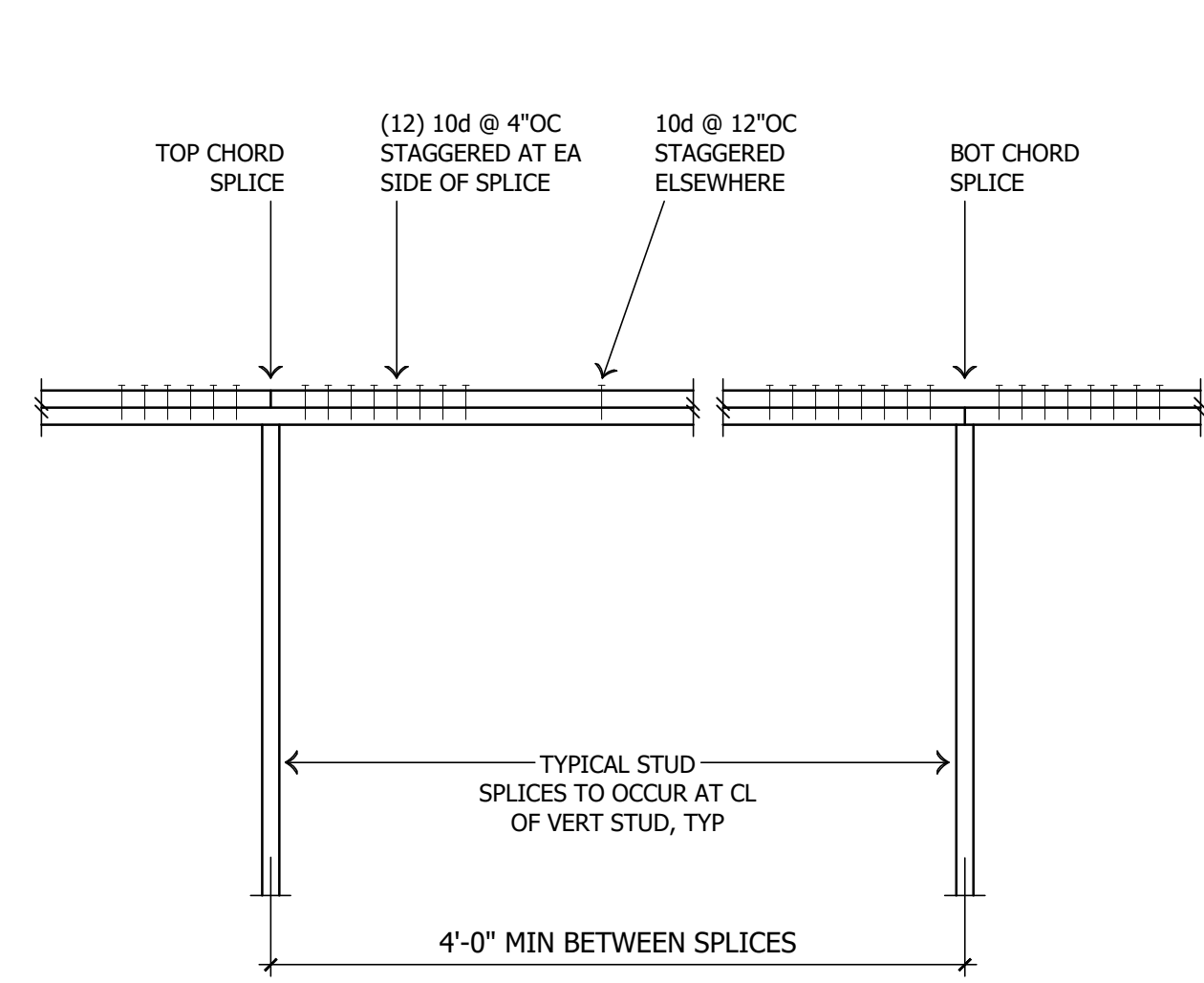


11 TYPICAL STEPPED FOOTING
NOT TO SCALE



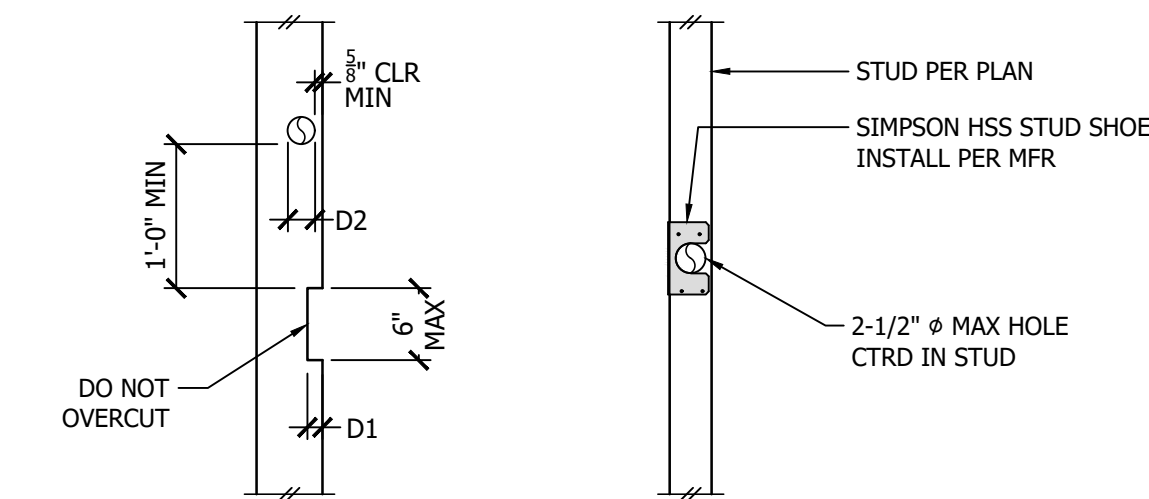
Official Stamps:

Eng Family Homestead Renovation 611 8th Ave South, Seattle, WA 98104		FOR CONSTRUCTION	PERMIT SET	9/22/2023
NO.	DESCRIPTION	DATE		
1	Copy 1 Revisions	2/16/24		
Project number	Date	Project Manager	Drawn by	Checked by
	9/22/2023	RC	RC	RC
TYPICAL CONCRETE DETAILS				Scale
\$3.00				



NOTE: WHERE BOTH TOP PLATES ARE DISCONTINUOUS, SPLICE w/ (1) CS16 x 3'-0" STRAP

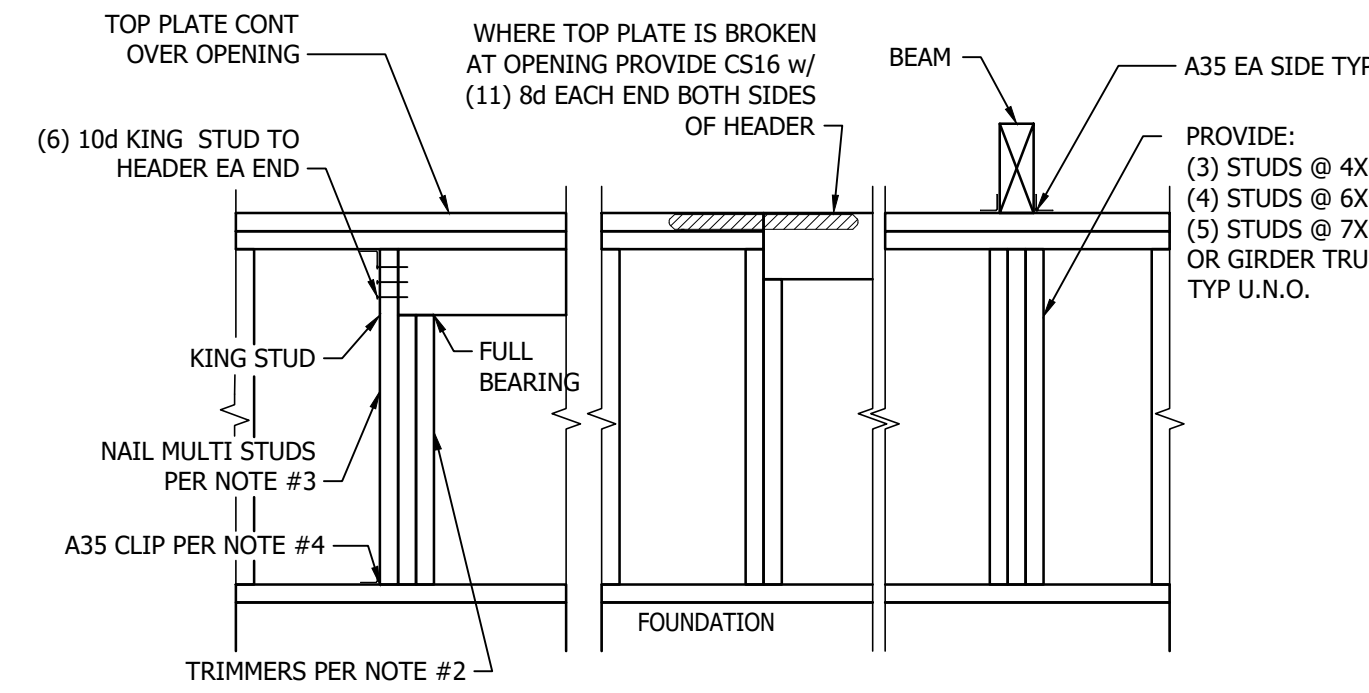
1 TYPICAL TOP PLATE SPLICE
NOT TO SCALE



BEARING WALLS			NON-BEARING WALLS		
STUD SIZE	MAX D1 (NOTCH)	MAX D2 (NOTCH)	STUD SIZE	MAX D1 (NOTCH)	MAX D2 (NOTCH)
2x4, 3x4	3/4"	1 1/4"	2x4, 3x4	1 1/4"	2"
2x6	1 1/4"	2 1/4"	2x6	2 1/4"	3 1/4"
2x8	1 3/4"	3"	2x8	3"	4 1/4"

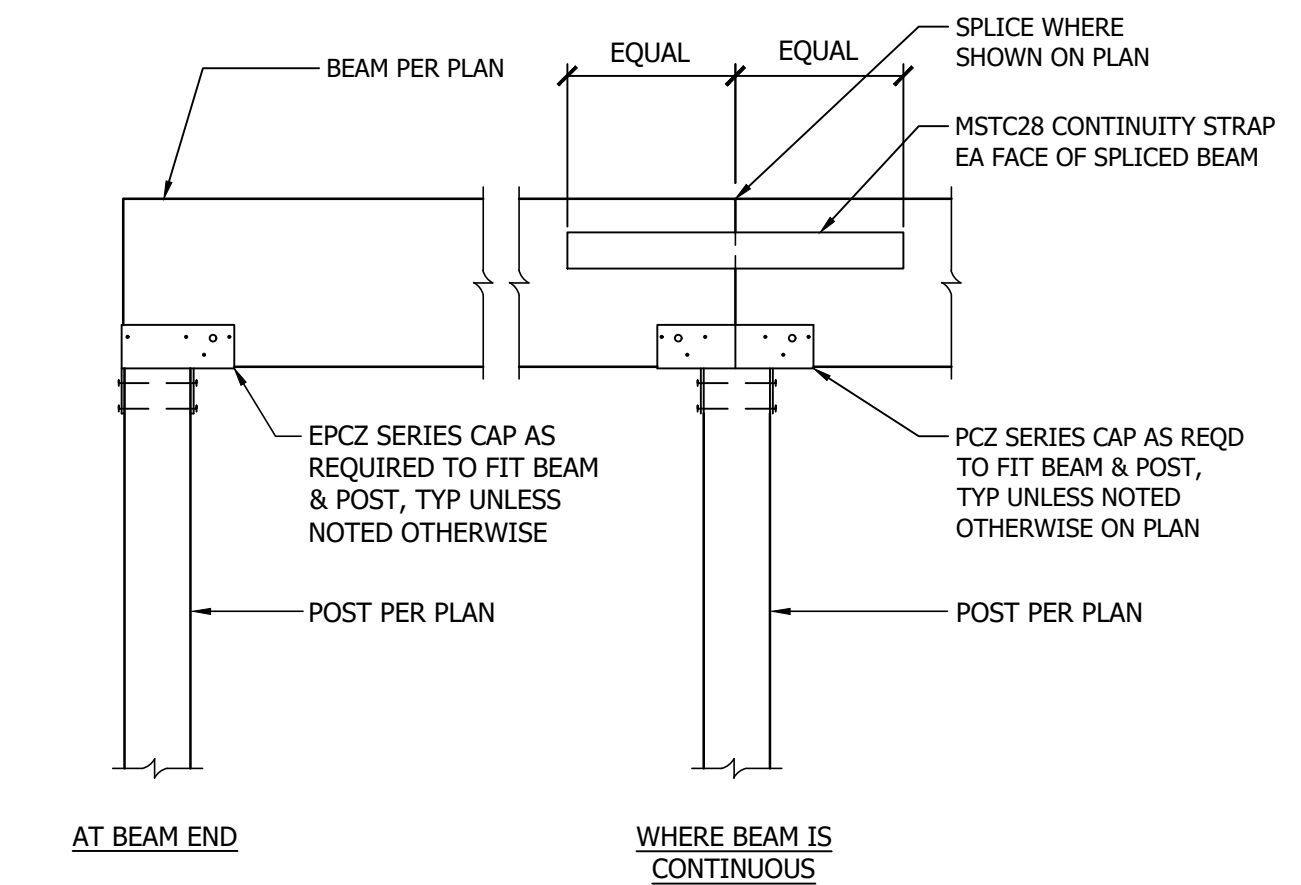
- NOTES:
- NOT MORE THAN TWO ADJACENT STUDS SHALL BE BORED.
 - HOLE AND NOTCH SIZE FOR NON-BEARING WALLS MAY BE USED FOR BEARING WALLS IF REQUIRED NUMBER OF STUDS ARE DOUBLED. THIS MAY ONLY BE USED AT TWO CONSECUTIVE STUDS IN ANY ONE WALL.
 - A 2 1/2" HOLE MAY BE DRILLED THRU EITHER BEARING WALL OR NON-BEARING WALL STUDS IF A SIMPSON HSS STUD SHOE IS INSTALLED AS DETAILED. THIS MAY ONLY BE USED AT TWO CONSECUTIVE STUDS IN ANY ONE WALL.

2 TYPICAL HOLES AND NOTCHES IN STUDS
NOT TO SCALE



- NOTES:
- HEADER TO BE LOCATED TIGHT AGAINST EXTERIOR WALL SHEATHING.
 - PROVIDE MINIMUM (2) BEARING TRIMMER STUDS AT ENDS OF ALL HEADER / BEAMS 5'-0" OR OVER IN LENGTH.
 - MULTI-STUDS SHALL BE NAILED TO EACH OTHER WITH (2) ROWS OF 10d NAILS @ 16"OC, STAGGERED.
 - PROVIDE A35 CLIPS AT TOP & BOTTOM OF KING STUD FOR EXTERIOR OPENINGS 5'-0" OR OVER IN LENGTH.

3 TYPICAL BEAM HEADER
NOT TO SCALE

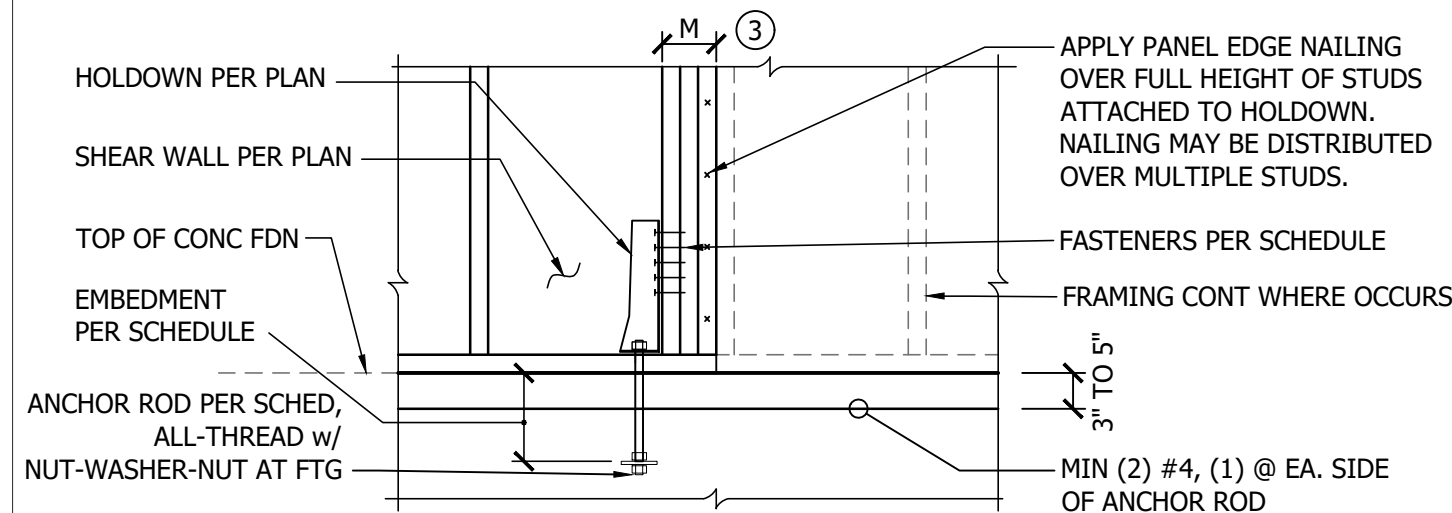


- NOTES:
- AT VARIED BEAM SIZES, PROVIDE SOLID FULL DEPTH SHIM TO EXTEND MIN 3" BEYOND CAP. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED.

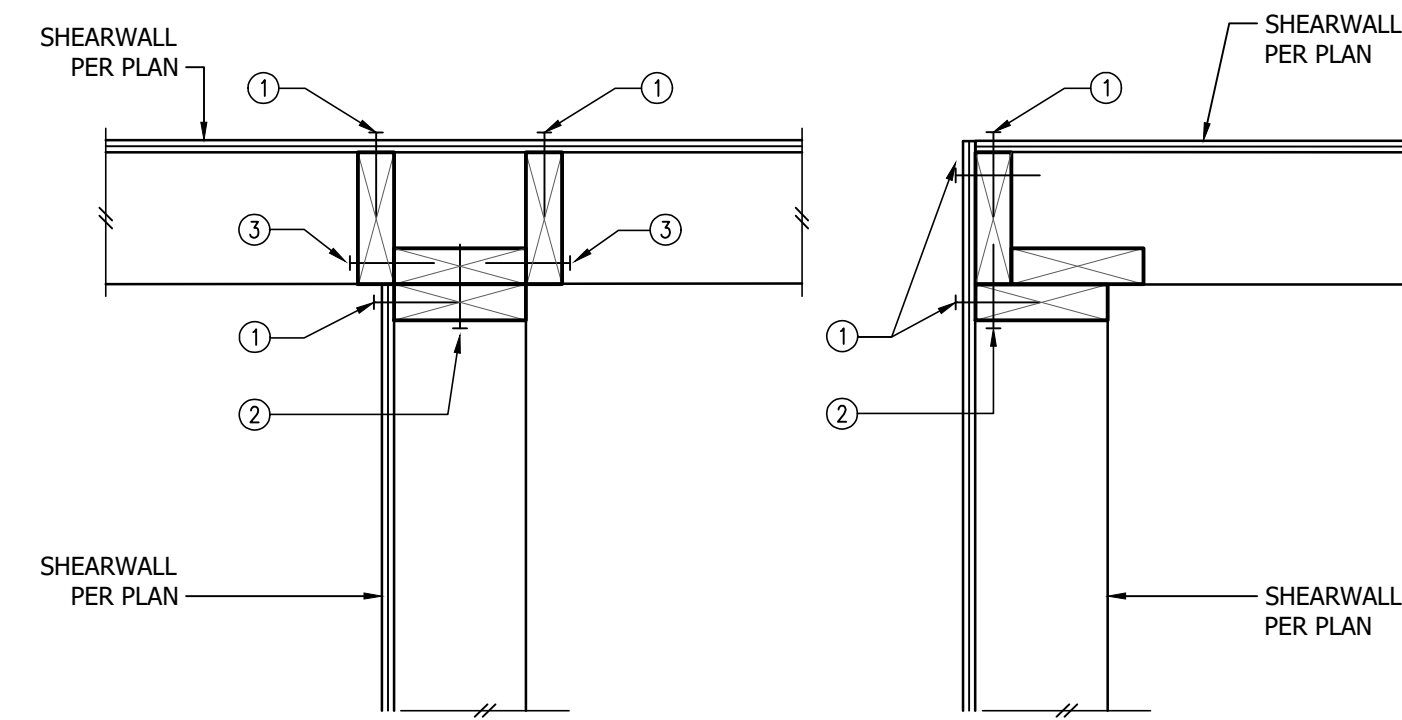
4 TYPICAL WOOD BEAM TO WOOD COLUMN
NOT TO SCALE

HOLDOWN SCHEDULE ① ② ④					
MARK	FASTENERS	M ③	WALL		
			ANCHOR ROD	EMBEDMENT	EDGE DISTANCE
HDU2	(6) SDS 1/4" x 2 1/2"	3"	5/8"Ø	12"	3"
HDU4	(10) SDS 1/4" x 2 1/2"	3"	5/8"Ø	12"	3"
HDU5	(14) SDS 1/4" x 2 1/2"	3"	5/8"Ø	12"	3"
HDU8	(20) SDS 1/4" x 2 1/2"	3"	7/8"Ø	12"	3"

- PLACEMENT OF ANCHOR ROD IS BASED ON CAST-IN-PLACE INSTALLATION. PROVIDE SIMPSON SET-XP EPOXY AT EXISTING CONCRETE POST-INSTALLED ANCHOR LOCATIONS (12" MIN EMBED).
- INSTALL ALL HOLDOWNS AND EPOXY PER MANUFACTURER'S INSTRUCTIONS.
- DEPTH OF WOOD FRAMING MEMBER ATTACHED TO HOLDOWN. MEMBERS SHALL BE HEM-FIR UNLESS NOTED OTHERWISE NOTED.
- BASED ON MIN EDGE DISTANCE OF 1 3/4". MIN 4 1/4" DISTANCE (MIN 5" FOR SB1x30) REQ'D FROM END OF WALL.

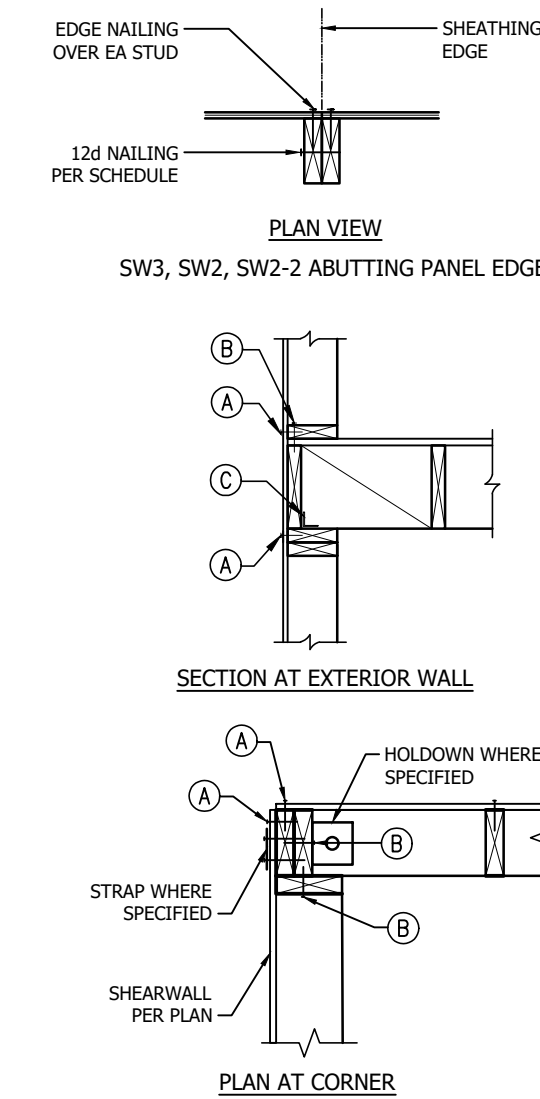


5 HOLDOWN SCHEDULE
NOT TO SCALE



- PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE
- BASE PLATE NAILING PER SHEARWALL SCHEDULE
- 10d NAILS @ 8"OC

6 TYPICAL SHEARWALL INTERSECTIONS
NOT TO SCALE

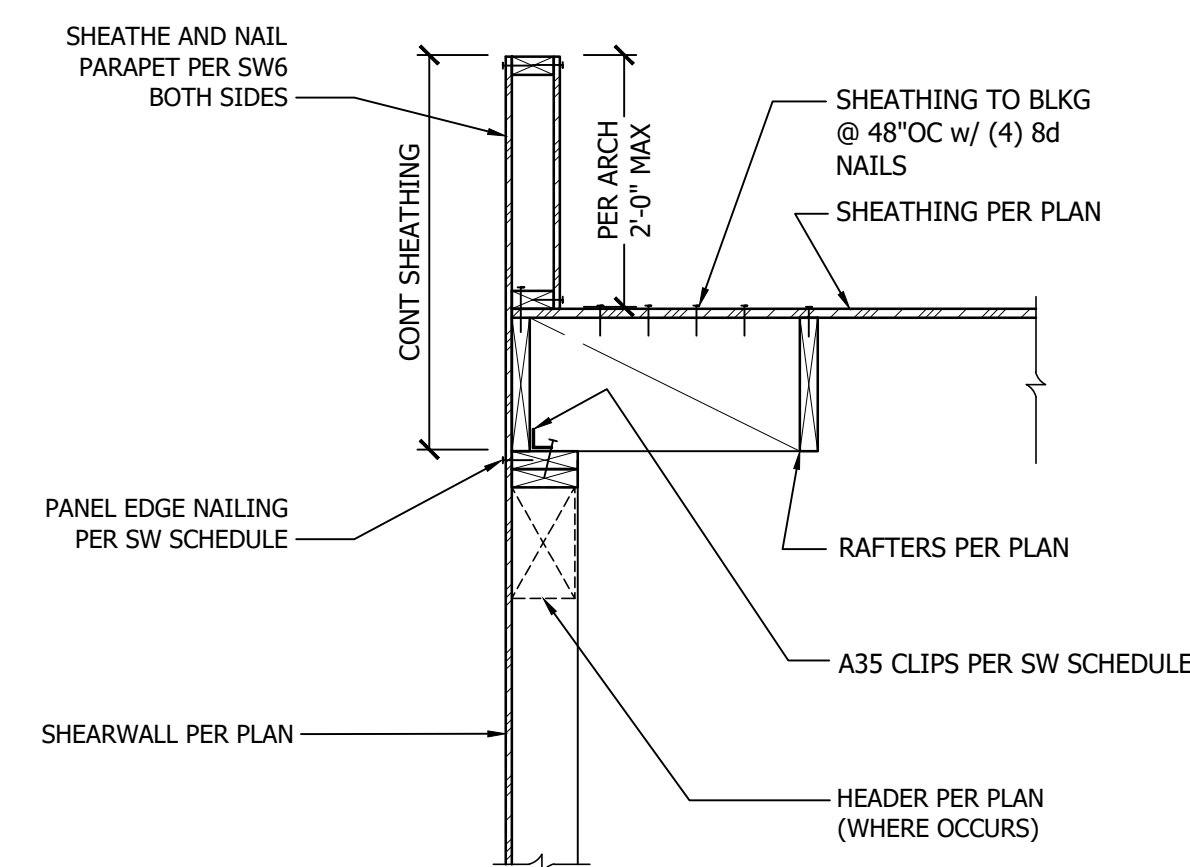


SHEARWALL SCHEDULE ① ② ③ ④ ⑤ ⑥ ⑦

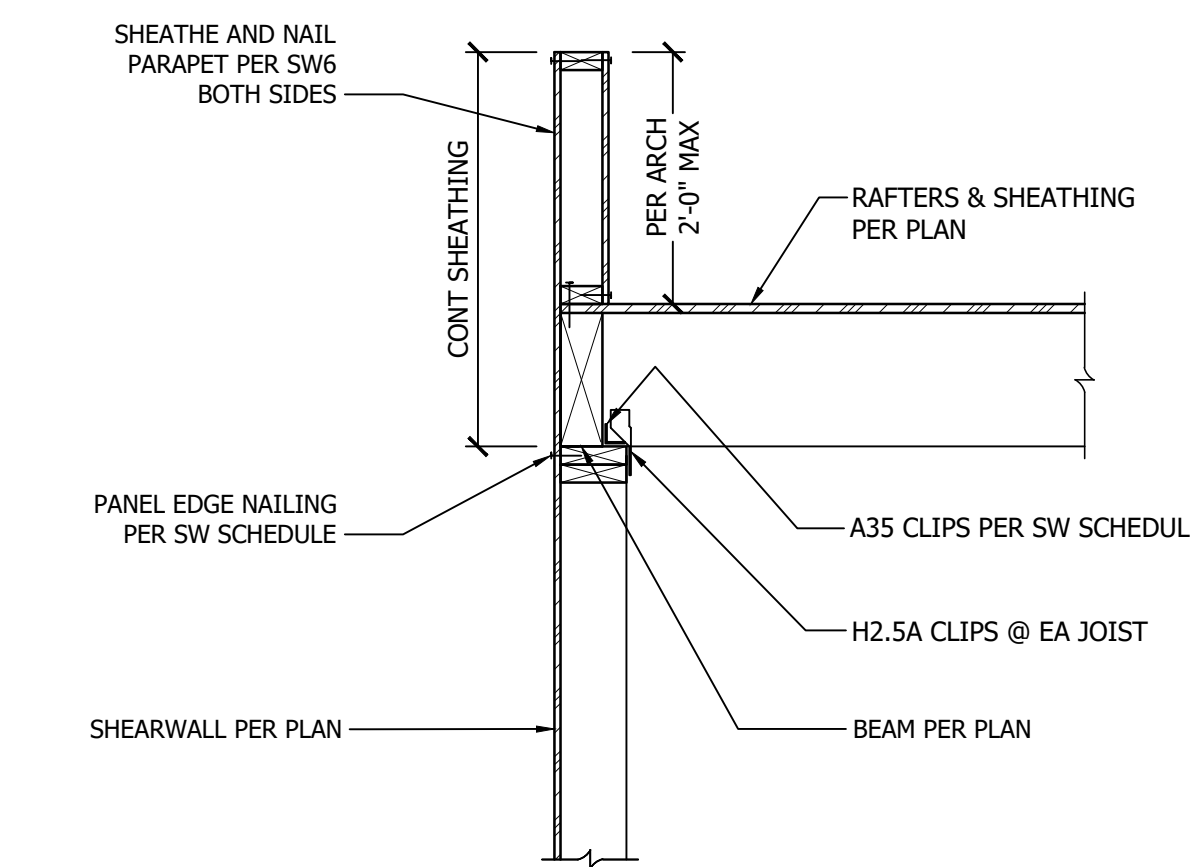
MARK	SHEATHING	PANEL EDGE NAILING (A)	TOP PLATE CONNECTION		BASE PLATE CONNECTION	
			IF TJI	IF 2X OR LSL (C)	AT WOOD (B)	AT CONCRETE
SW6	1 1/2" STRUCT-1 PLY	8d @ 6"OC	10d @ 6"OC	A35 @ 24"OC	12d @ 6"OC	5/8"Ø AB @ 48"OC
SW4	1 1/2" STRUCT-1 PLY	8d @ 4"OC	10d @ 4"OC	A35 @ 16"OC	12d @ 4"OC	5/8"Ø AB @ 32"OC
SW3 ④	1 1/2" STRUCT-1 PLY	8d @ 3"OC	(2) ROWS 10d @ 6"OC	A35 @ 12"OC	(2) ROWS 12d @ 6"OC ⑤	5/8"Ø AB @ 16"OC
SW2 ④	1 1/2" STRUCT-1 PLY	8d @ 2"OC	(2) ROWS 10d @ 4"OC	A35 @ 10"OC	(2) ROWS 12d @ 4"OC ⑤	5/8"Ø AB @ 12"OC
SW3-2 ④	1 1/2" STRUCT-1 PLY BOTH SIDES	8d @ 3"OC, EA SIDE	(2) ROWS 10d @ 3"OC	A35 @ 8"OC	(2) ROWS 12d @ 3"OC ⑤	5/8"Ø AB @ 12"OC

- BLOCK PANEL EDGES WITH 2x LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d NAILS @ 12"OC.
- 8d NAILS SHALL BE 0.131"Ø x 2-1/2", 10d NAILS SHALL BE 0.131"Ø x 3", AND 12d NAILS SHALL BE 0.148"Ø x 3-1/4".
- EMBED ANCHOR BOLTS AT LEAST 7". ALL BOLTS SHALL HAVE 3"x3"x1/4" PLATE WASHERS, THAT SHALL EXTEND TO WITHIN 1/2" OF EDGE OF BOTTOM PLATE ON SIDE(S) WITH SHEATHING, TYP UNO. EACH MUDSILL SHALL HAVE A MINIMUM OF (2) ANCHOR BOLTS WITH (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 4-1/2" FROM EACH END. PROVIDE SIMPSON SET-XP EPOXY ANCHORS AT EXISTING CONCRETE WITH 12" EMBEDMENT.
- 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASEPLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF SW3, SW2, AND SW2-2. WHERE 3x STUDS ARE USED, STAGGER NAILS AT ADJOINING PANEL EDGES. ABUTTING PANEL EDGES SHALL BE OFFSET EACH SIDE OF WALL AT SW3-2.
- TWO STUDS MINIMUM OR POST PER PLAN ARE REQUIRED AT EACH END OF ALL SHEARWALLS AND ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING.
- NAILS SHALL NOT BE SPACED LESS THAN 3/8" FROM EDGES OF SHEATHING. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEADS ARE FLUSH WITH SHEATHING (NOT COUNTERSUNK).
- ALL EXTERIOR WALLS SHALL BE SW6, UNLESS NOTED OTHERWISE.
- LTPM'S INSTALLED OVER SHEATHING WITH 8d NAILS MAY BE SUBSTITUTED FOR A35'S AT CONTRACTORS OPTION.
- AT (2) ROWS OF NAILING/CLIPS: USE DOUBLE RIM, JOIST OR BLOCKING.

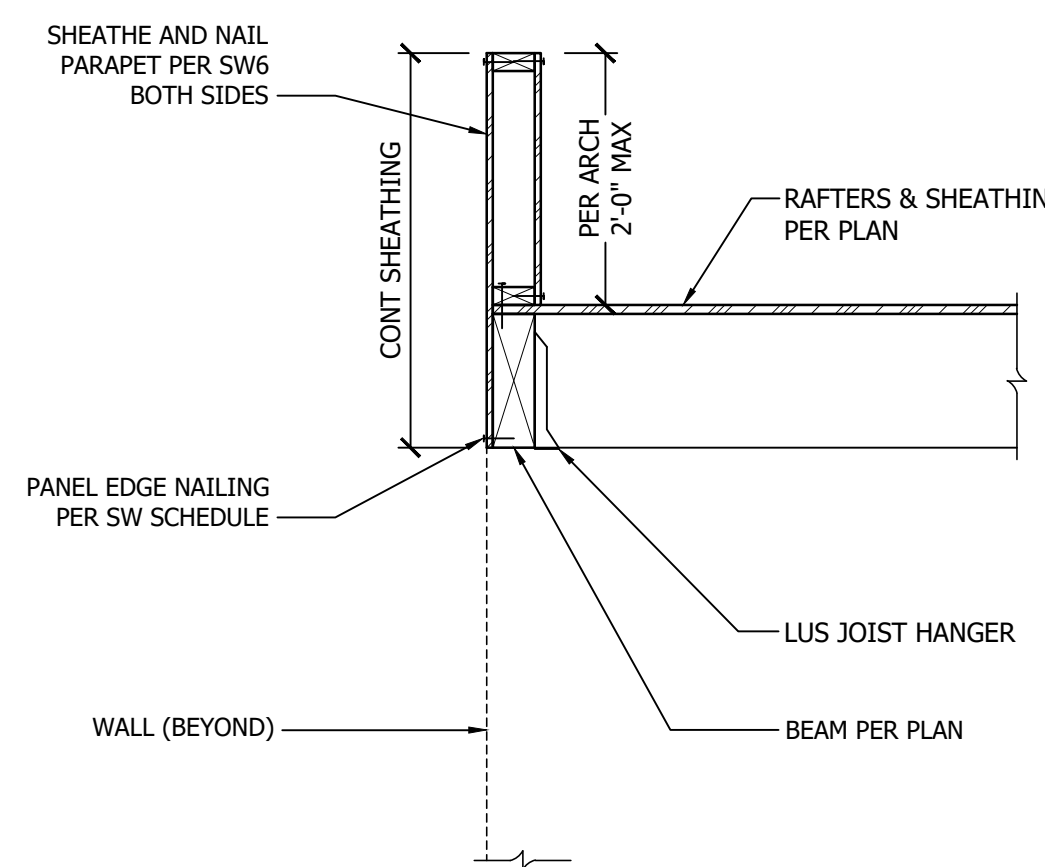
7 SHEARWALL SCHEDULE
NOT TO SCALE



9 2X RAFTERS PARALLEL TO PARAPET WALL
NOT TO SCALE

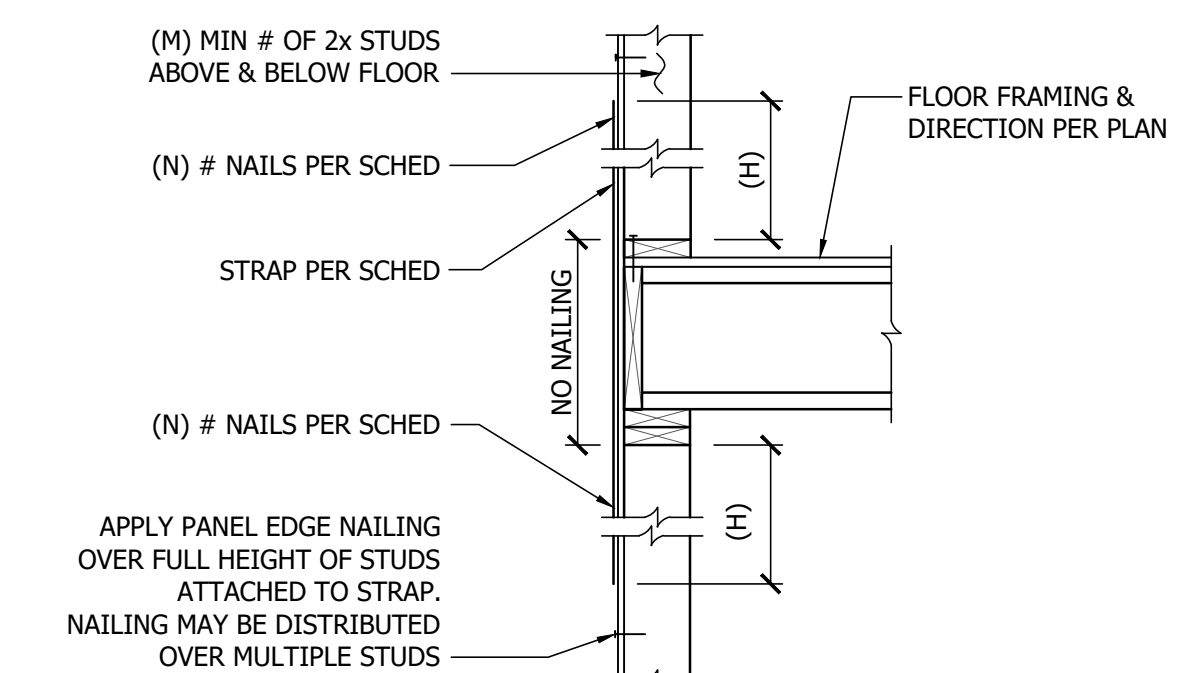


10 2X RAFTERS PERPENDICULAR TO PARAPET WALL
NOT TO SCALE



11 2X RAFTERS PERPENDICULAR TO EDGE BEAM
NOT TO SCALE

STRAP SCHEDULE			
MARK	H	N	M
CS16	14"	(13) 8D NAILS	1
MSTC40	11"	(14) 12D NAILS	2
MSTC52	17"	(22) 12D NAILS	2
MSTC66	24"	(32) 12D NAILS	2



12 FLOOR-TO-FLOOR STRAP SCHEDULE
NOT TO SCALE



Official
Stamps:

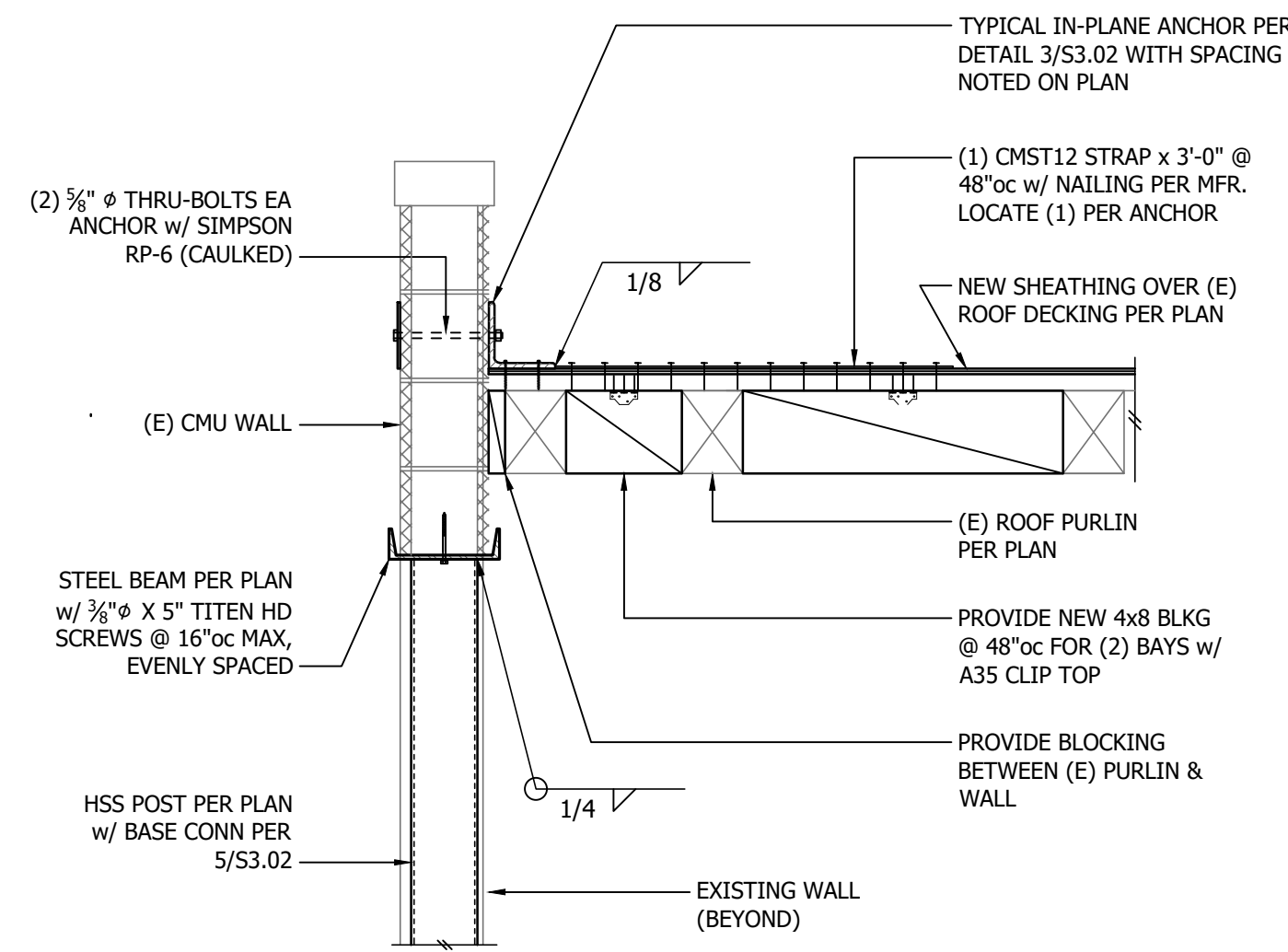
Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

NO.	DESCRIPTION	DATE	FOR CONSTRUCTION	PERMIT SET
				9/12/2023

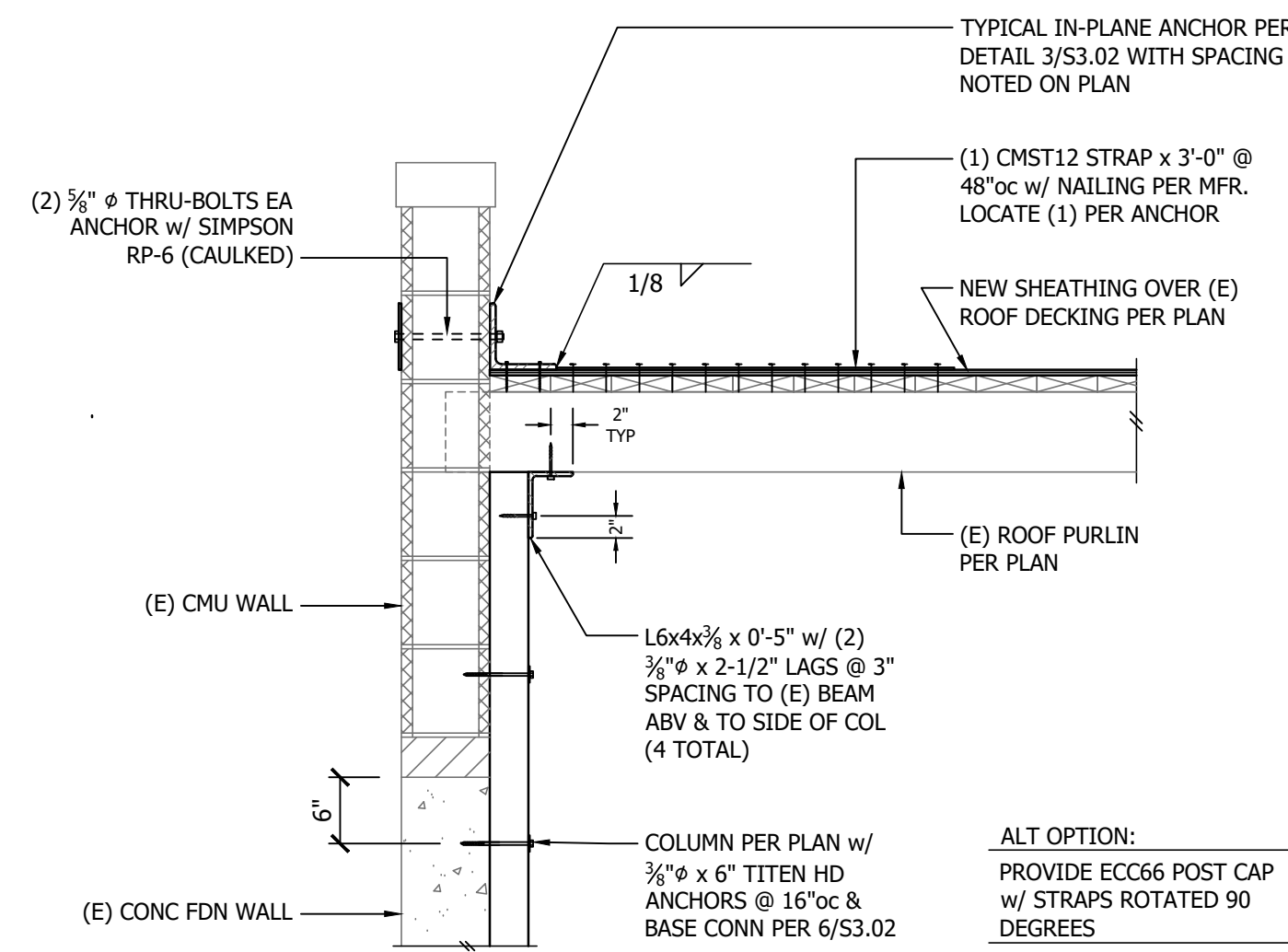
TYPICAL FRAMING DETAILS

Scale
S3.01

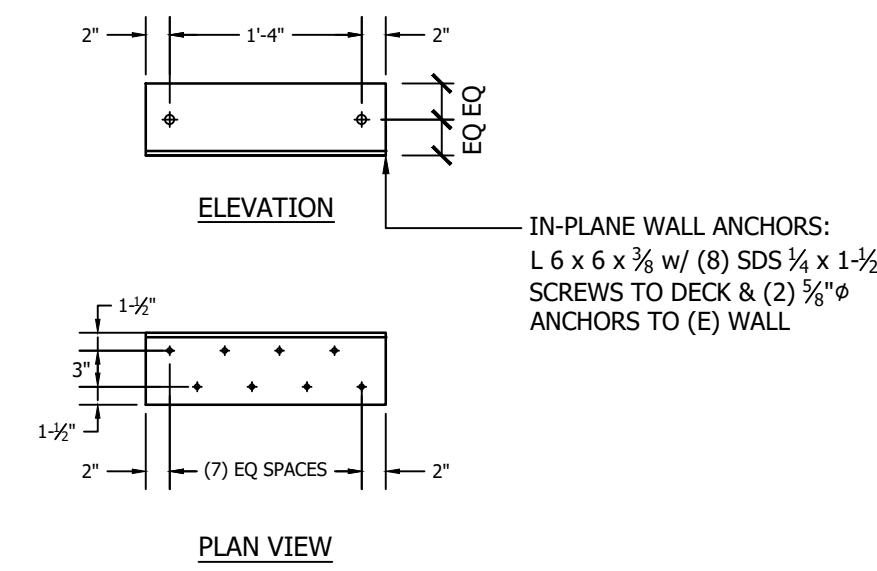
Project number	Date	Project Manager	Drawn by	Checked by
22019	9/22/2023	RC	RC	RC



1 GARAGE ROOF AT WEST WALL
NOT TO SCALE

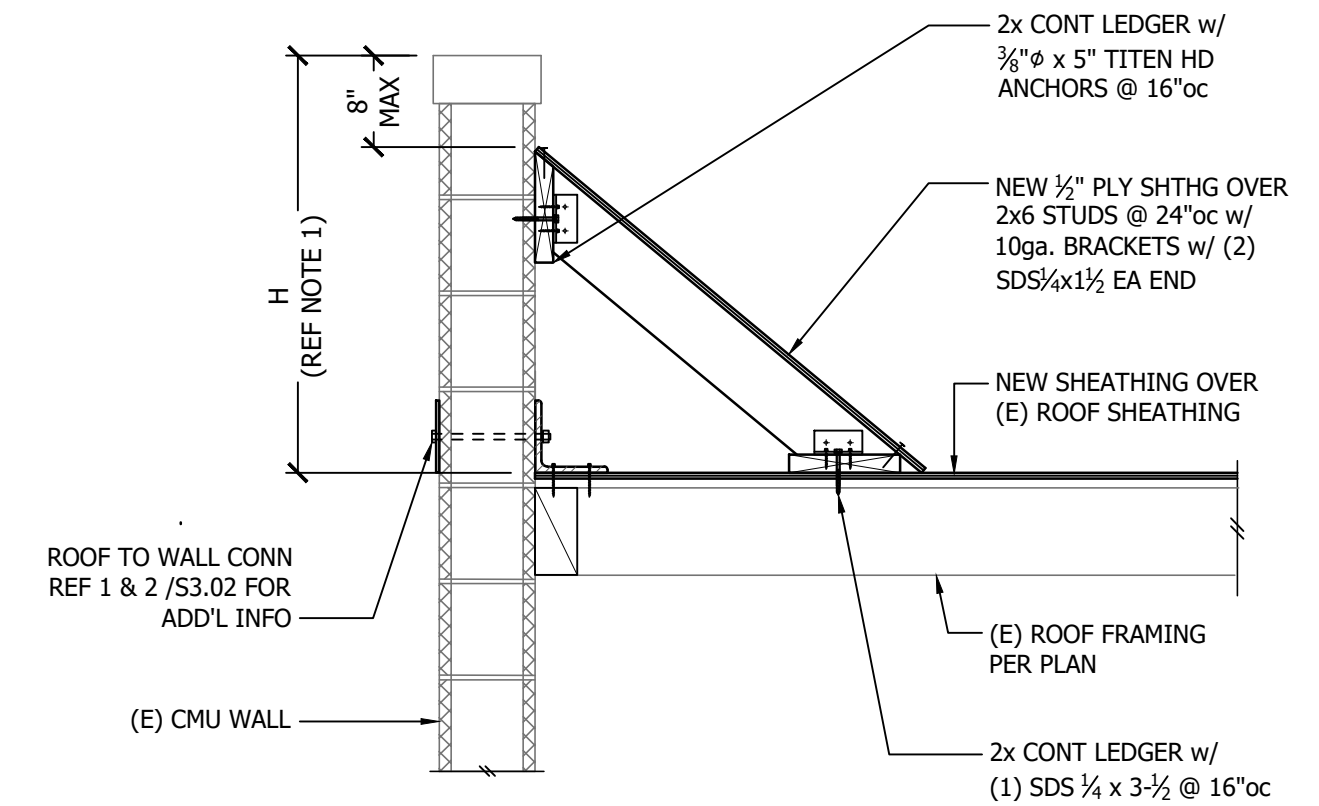


2 GARAGE ROOF AT NORTH & SOUTH WALLS
NOT TO SCALE



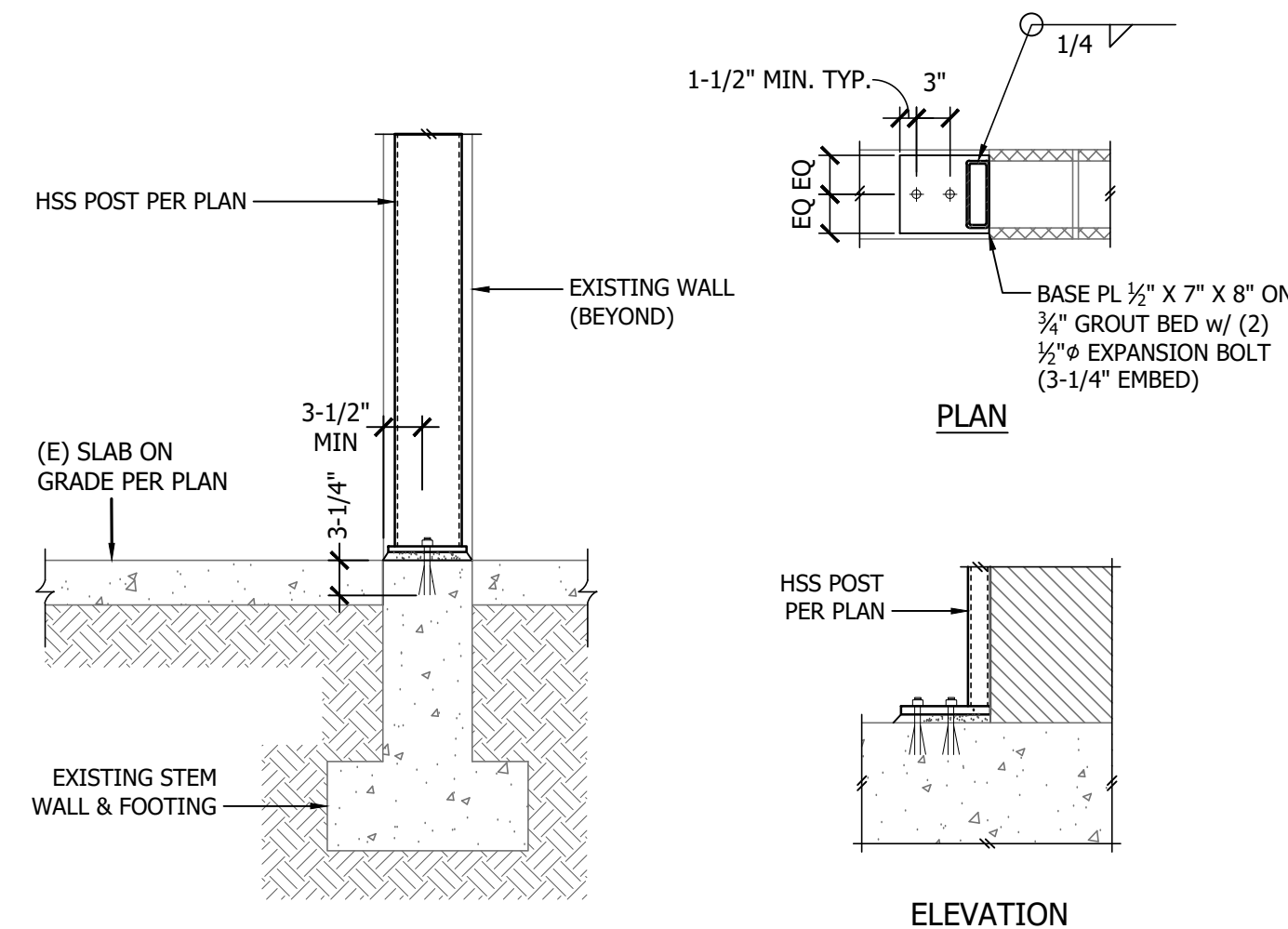
NOTES:
LOCATE ANGLE AT SPACING INDICATED ON PLAN/SECTION DETAIL.
ADJUST AS REQUIRED TO AVOID LOCATING SCREWS AT (E) CMU BLOCK JOINTS.

3 TYPICAL IN-PLANE WALL ANCHORAGE
NOT TO SCALE

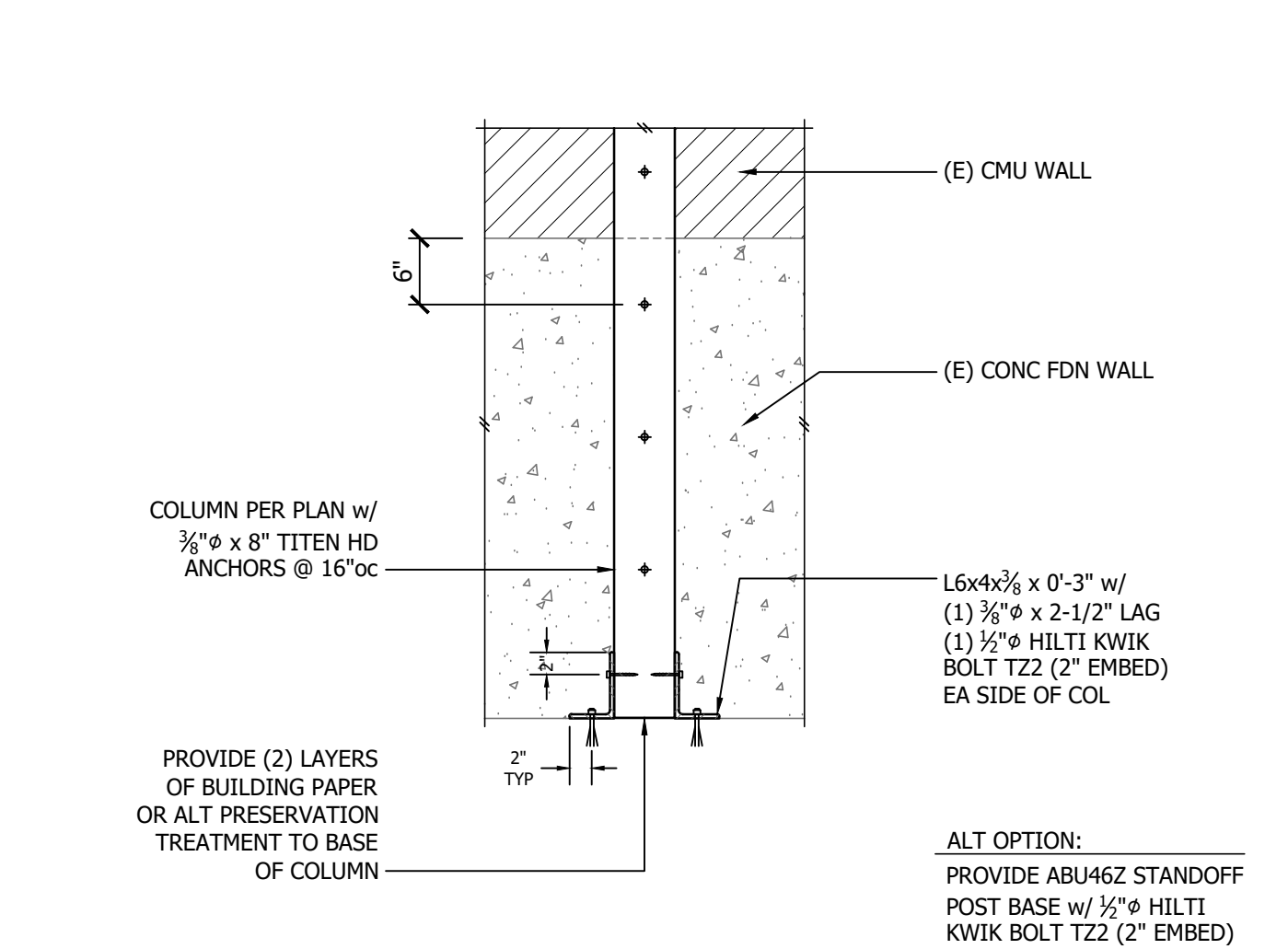


NOTES:
1. PROVIDE PARAPET BRACING WHERE "H" IS GREATER THAN 1'-4"

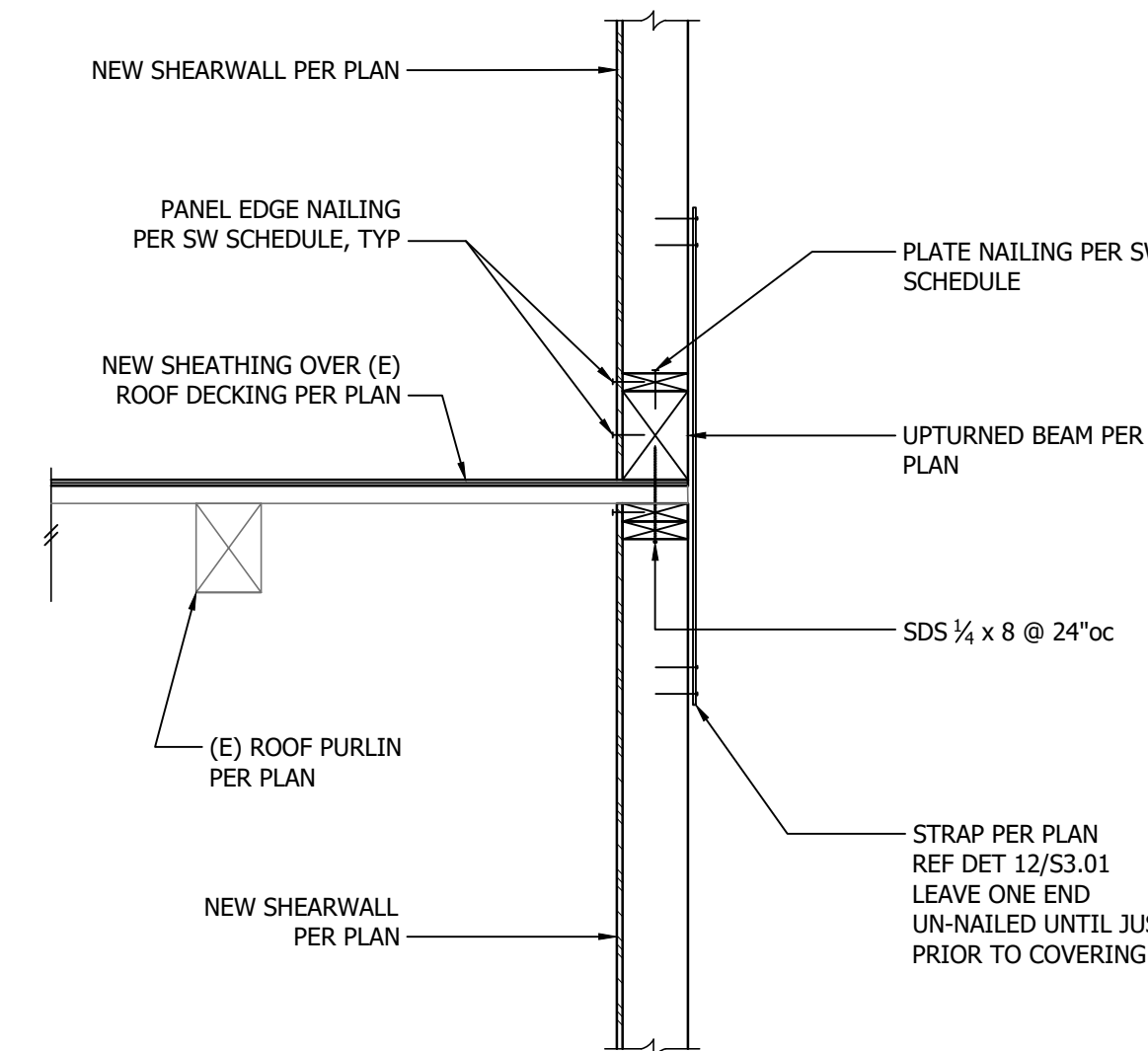
4 TYPICAL PARAPET BRACING
NOT TO SCALE



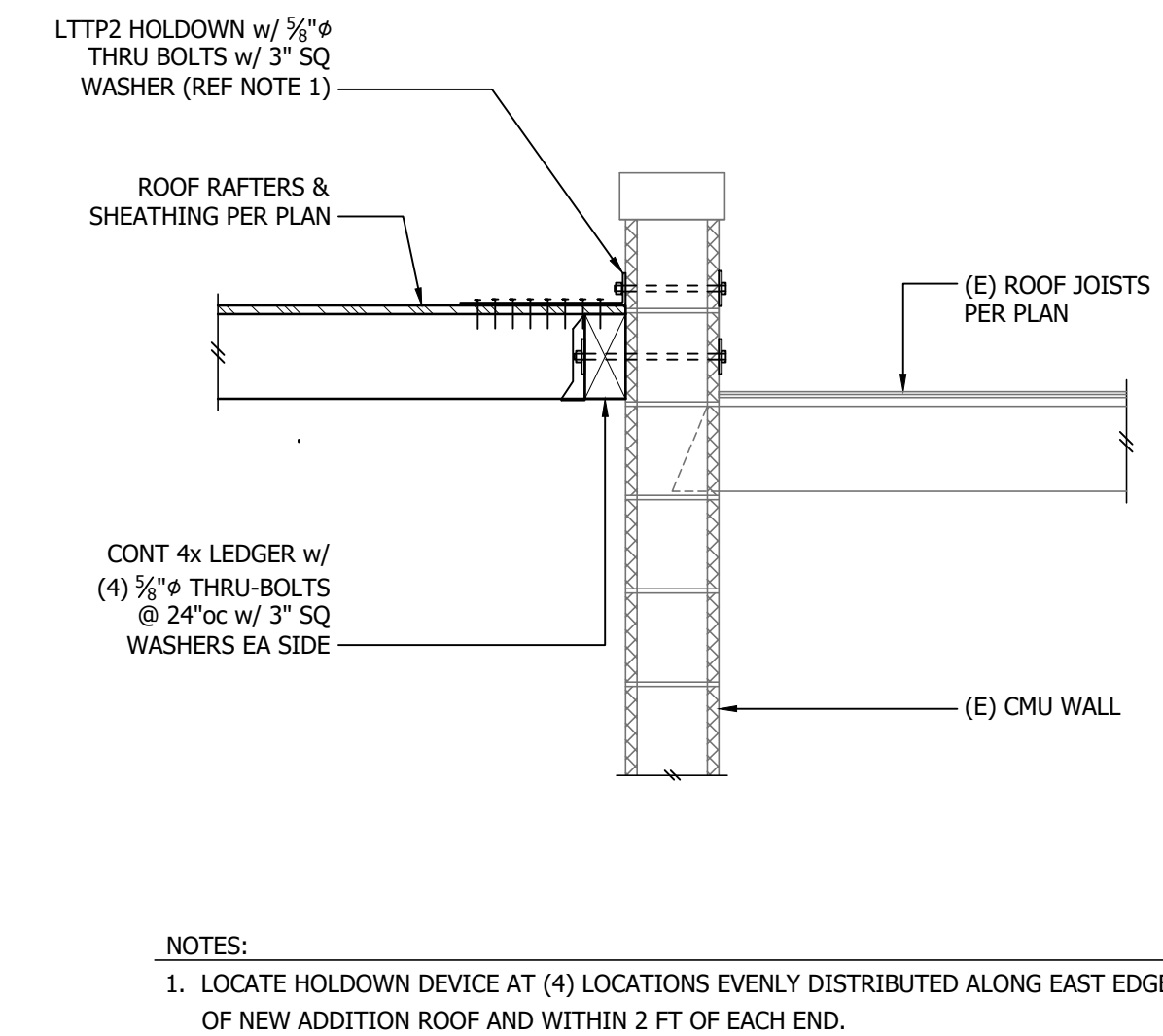
5 HSS POST AT WEST GARAGE ENTRY
NOT TO SCALE



6 BASE CONNECTION AT NEW SECONDARY COLUMN
NOT TO SCALE

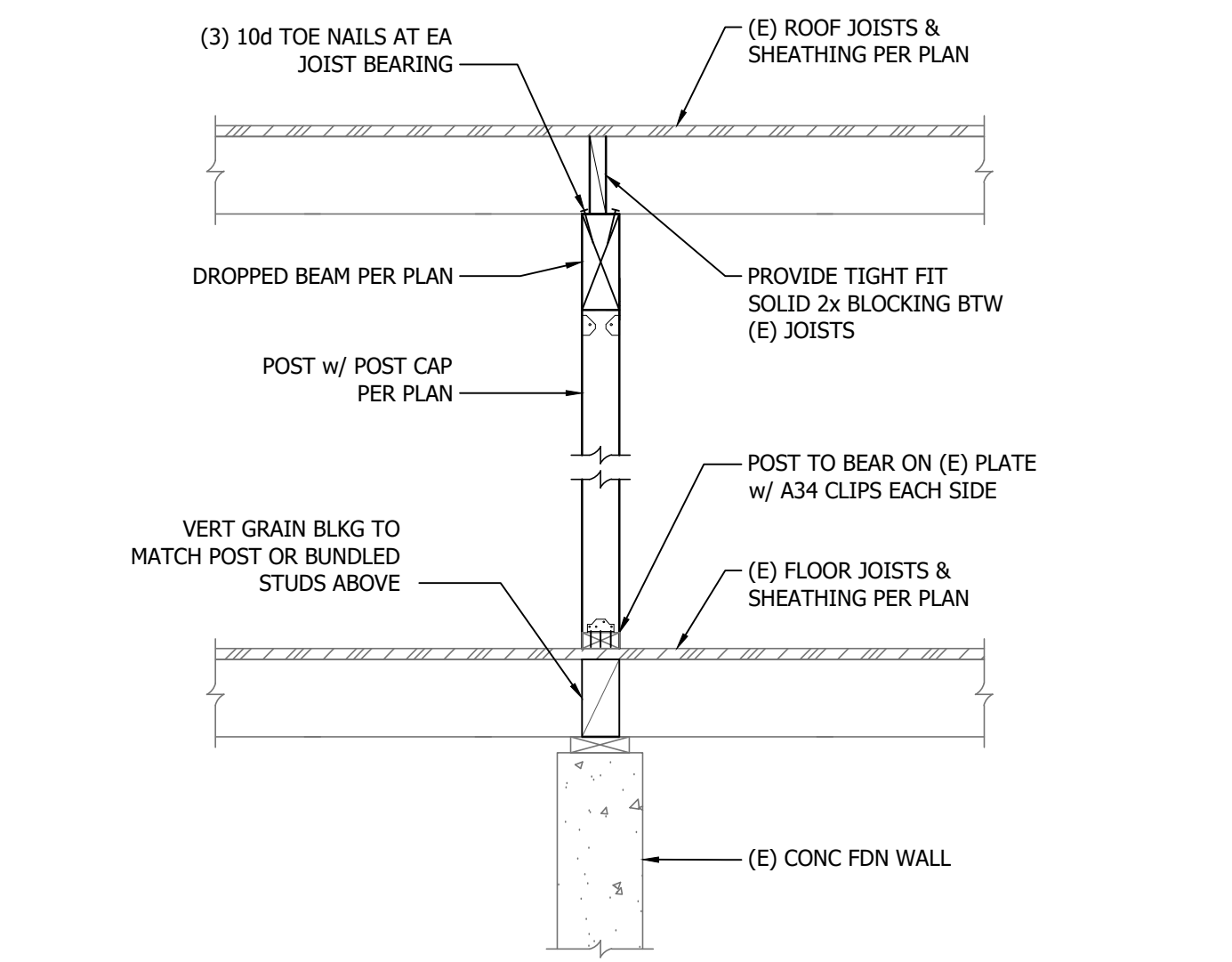


7 SECTION AT GARAGE NEW INTERIOR SHEARWALL
NOT TO SCALE

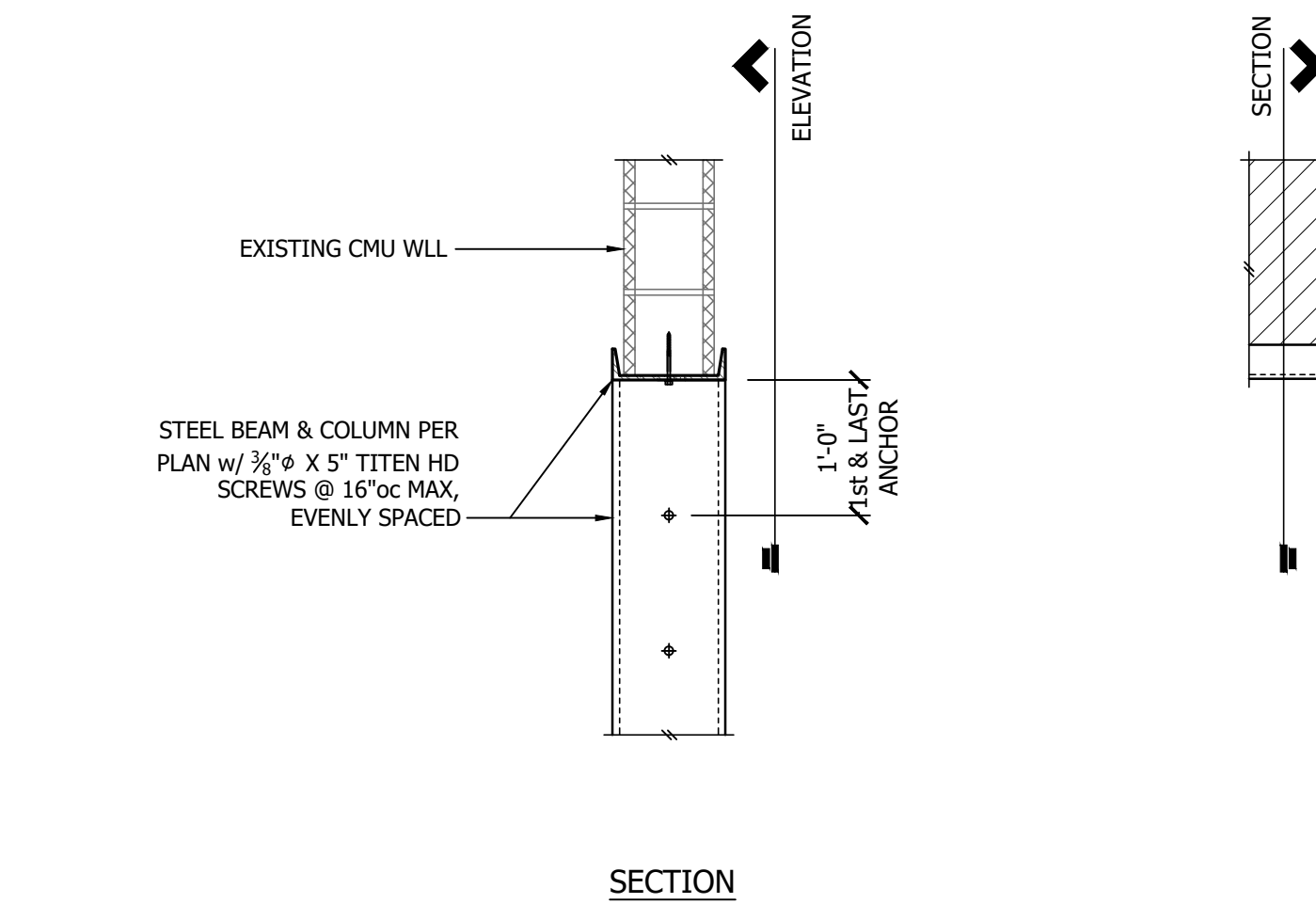


NOTES:
1. LOCATE HOLDOWN DEVICE AT (4) LOCATIONS EVENLY DISTRIBUTED ALONG EAST EDGE OF NEW ADDITION ROOF AND WITHIN 2 FT OF EACH END.

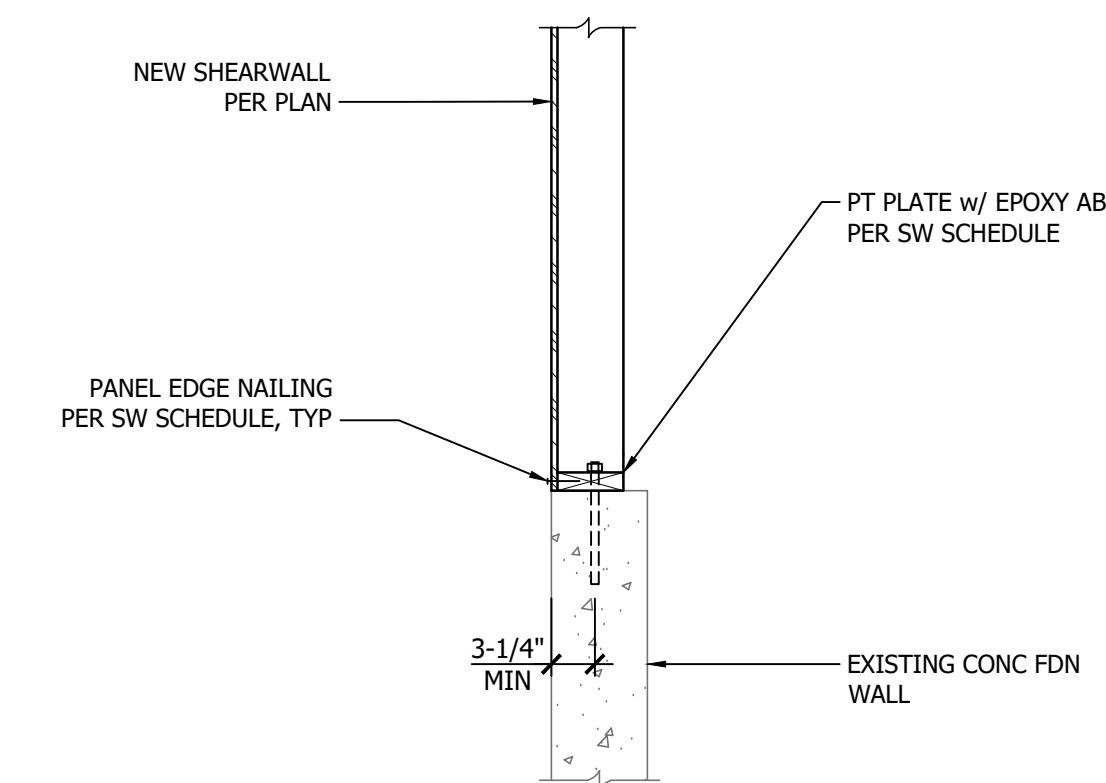
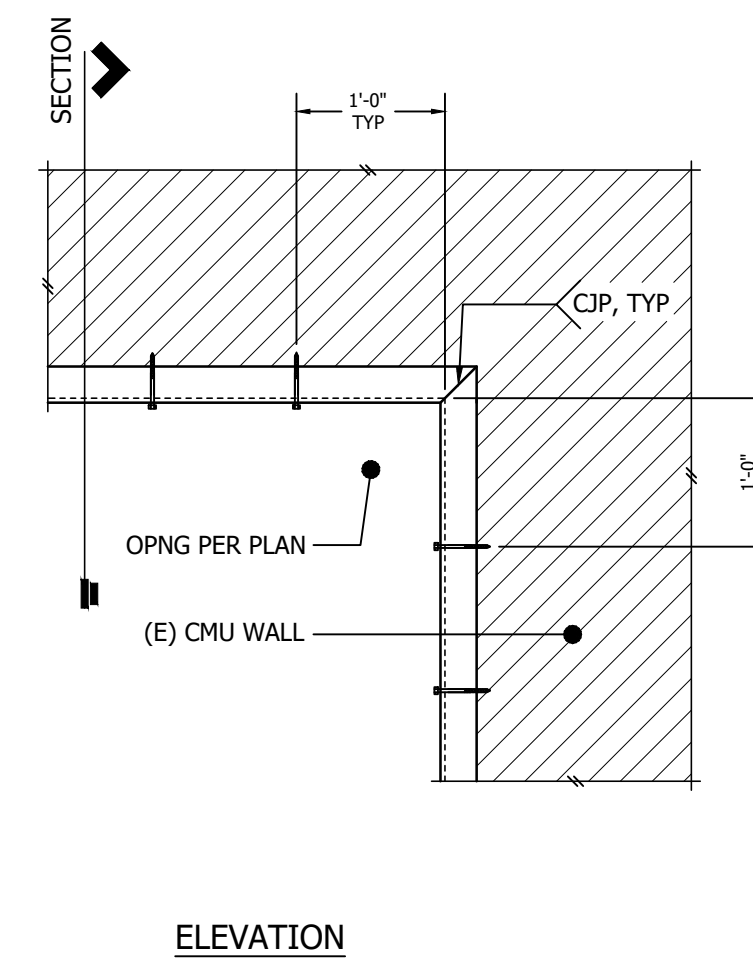
8 ADDITION ROOF FRAMING AT EXISTING WALL
NOT TO SCALE



9 NEW OPENING IN (E) INTERIOR WALL
NOT TO SCALE



10 SECTION AT WALL OPENING
NOT TO SCALE



11 NEW SHEARWALL AT EXISTING FOUNDATION WALL
NOT TO SCALE



Official
Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

REVISIONS	NO.	DESCRIPTION	DATE	FOR CONSTRUCTION	PERMIT SET
					9/22/2023

STRUCTURAL FRAMING DETAILS

Project number	22019	Date	9/22/2023	Project Manager	RC	Drawn by	RC	Checked by	RC
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S3.02
Scale



Official
Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

REVISIONS
NO. DESCRIPTION DATE

Project number 22013
Date 01/22/2024
Project Manager MF
Drawn by PM/KH
Checked by MP/PLJ

LEGEND

Scale
E1.00

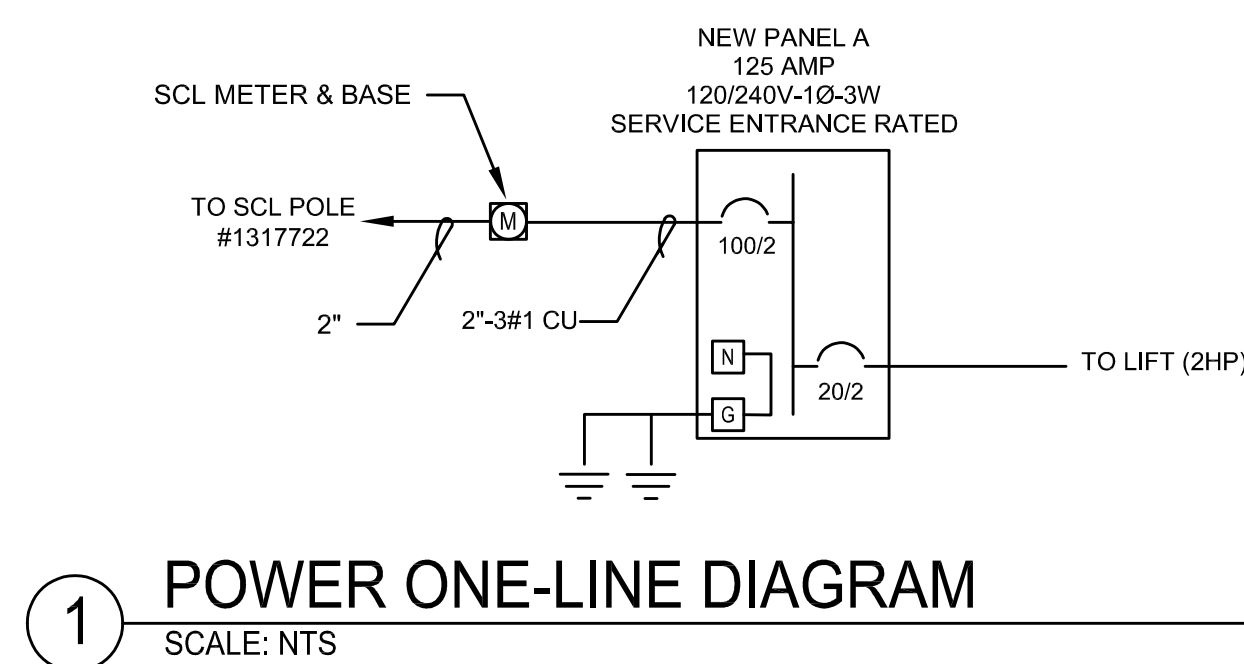
1/4" = 1'-0"

NOT FOR CONSTRUCTION
ISR CERTIFICATE OF
APPROVAL SET
01/22/2024

LIGHTING FIXTURE SCHEDULE

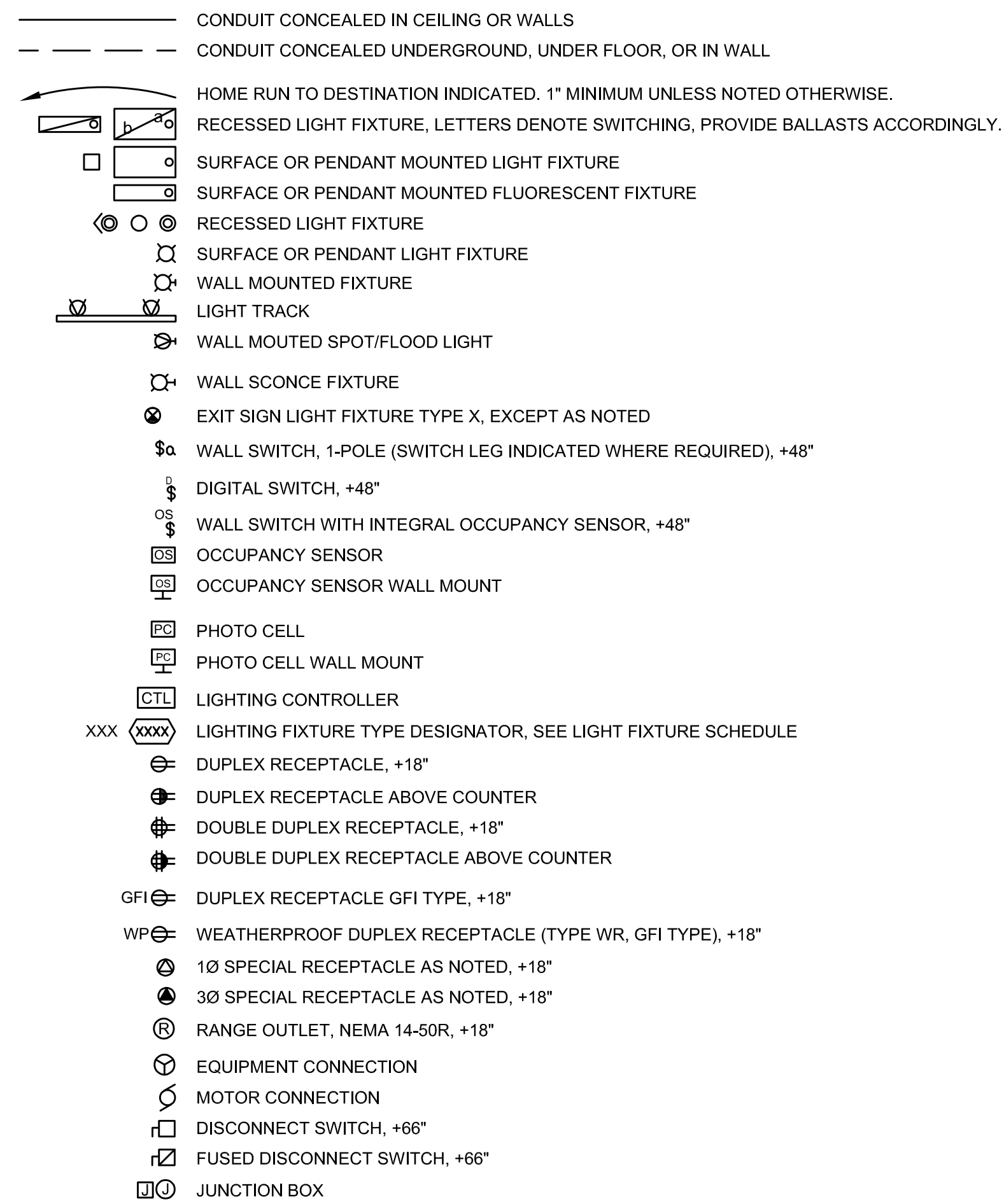
TYPE	LAMP	LUMEN OUTPUT	CCT	MINIMUM CRI	MANUFACTURER	DESCRIPTION
GL-1	LED 11W	650 LUMENS	3500K	80	HYDREL: ASPEN ASPEN-A-P1-80CRI-35K-120-40DEG- FLC-L3--C3	ALUMINUM ACCENT LIGHT WITH HEAD NO LONGER THAN 9". PROVIDE WITH 40° BEAM SPREAD, AND CUT-OFF CAP. WET LOCATION. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED. FINISH PER ARCHITECT.
PL-1	LED 6W/FT	625 LM/FT	3500K	80 CRI	FOCAL POINT: SEEM2 FSM2LS-FL-625LF-35 COOPER: DEFINE 3 S123DP-H-650D-8-35 ACUITY: SLOT 2 S2PD-LLP-80-35-650-80	2.5" WIDE LINEAR LED PENDANT DIRECT OPTICS AND FLUSH DIFFUSED LENS.
TL-0					WAC: W TRACK	SURFACE MOUNTED ALUMINUM TRACK SYSTEM, DUAL CIRCUIT. PROVIDE ALL ACCESSORIES AND COMPONENTS FOR A COMPLETE SYSTEM. COLOR PER ARCHITECT.
TL-1	LED 22W		3500K	80 CRI	WAC: PALOMA WTK-4023-830	LED CYLINDER TRACK HEAD WITH ADJUSTABLE MOUNT, ALLOWING FOR 300° HORIZONTAL AND 90° VERTICAL AIMING. FIXTURE TO ALLOW FOR ADJUSTABLE BEAM ANGLE 20° TO 45°.
WL-1	LED 15W	1800 LUMENS	3500K	80 CRI	ACUITY: WEDGE1 WDGE1-P2-35-80-VF-PE	WET LOCATION LED WALL PACK WITH FORWARD THROW AND INTEGRAL PHOTOCELL. CIRCUIT WITH OCCUPANCY SENSOR.
WL-2	LED		3500K		BARN LIGHTING: LED ORIGINAL BLE-G-WHS16-NA-LED27-35K	WALL MOUNTED EXTERIOR SCONCE WITH "GOOSENECK" ARM AND INTEGRAL LED. PROVIDE WITH 16" SHADE. MATERIAL, FINISH AND GOOSENECK OPTION PER ARCHITECT.
WL-3	LED		3500K	80 CRI	ACUITY: WPX0 LED WPX0-ALO3-SWW2-PE	WET LOCATION LED WALL PACK WITH WIDE DISTRIBUTION AND INTEGRAL PHOTOCELL. CIRCUIT WITH OCCUPANCY SENSOR.
SL-1	LED 20W	2000 LUMENS	3500K	80 CRI	GOTHAM: EVO EVO4SC-35-20-BR-LD-MD PRESCOLITE: LTC-4RDW	SURFACE MOUNTED 4" ROUND CYLINDER WITH DIFFUSED LENS.
X	LED				DUAL LITE: SE-G-I CHLORIDE: CE-11300-55L3G LITHONIA: LE	SELF-DIAGNOSTIC CEILING/SIDE-MOUNT DIE CAST LED EXIT SIGN WITH BATTERY BACKUP. PROVIDE ALL MOUNTING ACCESSORIES REQUIRED. PROVIDE ARROWS AND FACES AS SHOWN ON DRAWINGS. FINISH PER ARCHITECT.

EQUALS ACCEPTABLE AS APPROVED BY ARCHITECT & ENGINEER.
PROVIDE EMERGENCY BATTERY BACK UP FOR FIXTURES WITH "E" DESIGNATION; SEE PLANS.
ALL COLORS, FINISHES, ETC ARE BY ARCHITECT.
MOUNTING HEIGHTS PER ARCHITECTURAL ELEVATIONS.

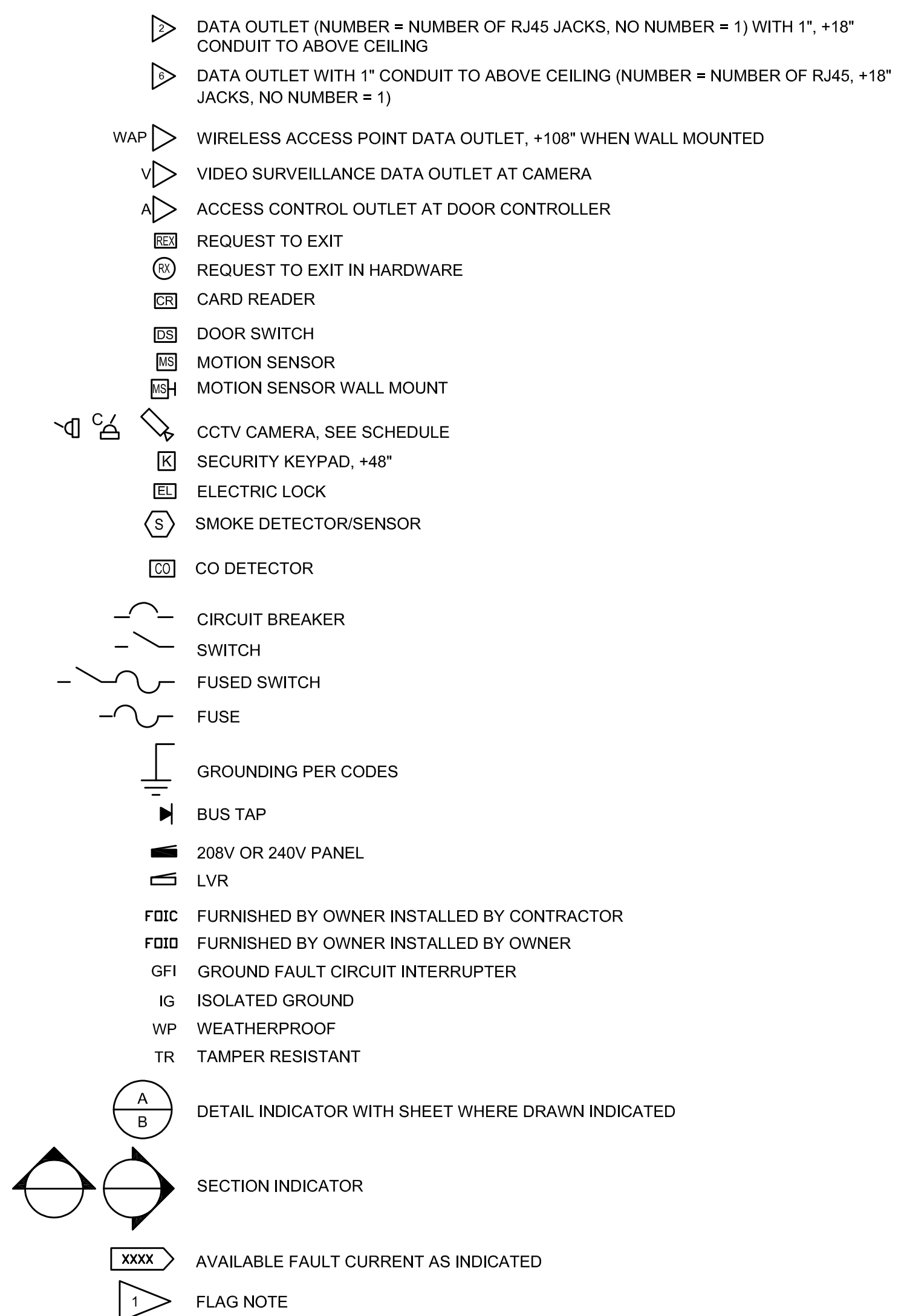


1 POWER ONE-LINE DIAGRAM
SCALE: NTS

LEGEND



LEGEND



PANEL A LOCATION MOUNTING EXIST A/C FED FROM BASEMENT SURFACE UTILITY VOLTS 208 /120 AMPS 200 MCB 200 GROUND BUS UL SERVICE LABEL 1 PHASE, 4 WIRE, WYE

CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA	CCT NO.	CCT BRKR	DESCRIPTION	LOAD KVA
1	20/1	RECEPT - EXTERIOR	0.18	2	20/1	LIFT	1.44
3	20/1	RECEPTS - GARAGE	0.36	4	20/1	SPARE	0.00
5	20/1	RECEPTS - GARAGE	0.18	6	20/1	LIFT (EXTERIOR)	1.44
7	20/1	RECEPT - RACK POWER	0.36	8	40/2	SPARE	0.00
9	20/1	RECEPT - RACK POWER	0.36	10			
11	20/1	RECEPTS - SERVICE	0.36	12	20/1	SPARE	0.00
13	20/1	RECEPTS - BASEMENT	0.54	14	20/1	RECEPT - BATH	0.18
15	20/1	RECEPTS - BASEMENT	0.54	16	20/1	RECEPTS - BEDROOM	0.54
17	20/1	RECEPTS - KITCHEN	0.36	18	20/1	RECEPTS - BEDROOM	0.54
19	20/1	RECEPTS - KITCHEN	0.18	20	20/1	SPARE	0.00
21	20/1	RECEPTS - ENTRY	0.54	22	20/1	SPARE	0.00
23	40/2	RANGE	6.60	24	20/1	LIGHTS MAIN LEVEL	0.00
25				26	20/1	LIGHTS BSMNT/GARAGE	0.00
27	20/1		0.00	28	20/1	LIGHTS EXTERIOR	0.00
29	20/1	SPARE	0.00	30		SPACE	
31	20/1	SPARE	0.00	32		SPACE	
33	20/1	SPARE	0.00	34		SPACE	
35	20/1	SPARE	0.00	36		SPACE	

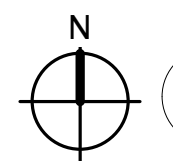
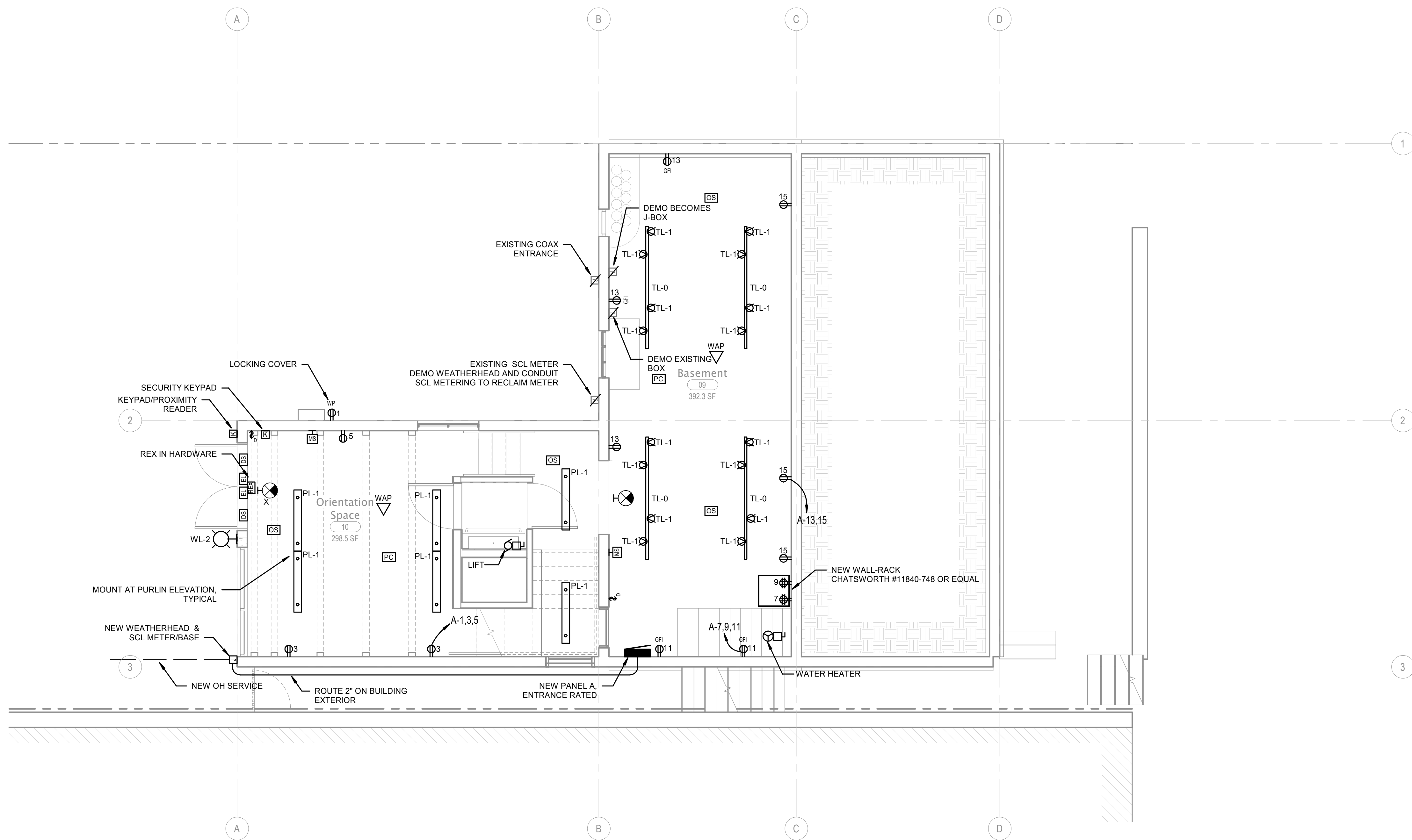
*PROVIDE WITH GFCI BREAKER CONNECTED LOAD

CONNECTED LOAD	KVA	DEMAND FACTOR	DEMAND LOAD KVA	AMPS
LIGHTS	0.00	125%	0.00	0.00
RECEPTACLES	5.22	100%	5.22	25.10
HEATING	0.00	100%	0.00	0.00
LARGEST MOTOR	1.44	125%	1.80	8.65
OTHER MOTORS	1.44	100%	1.44	6.92
MISCELLANEOUS	0.00	100%	0.00	0.00
KITCH. APPLIANCES	6.60	100%	6.60	31.73
TOTAL	14.70		15.06	72.40

MOUNTING REFERENCE ONLY. REFER TO ARCHITECTURAL ELEVATIONS FOR MOUNTING.

SHEET NOTES:

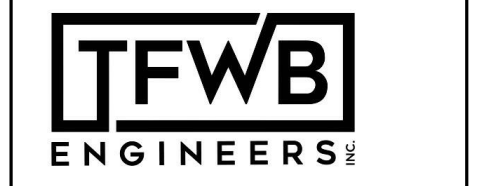
1. DEMOLISH ALL ELECTRICAL IN EXISTING BASEMENT.
2. ALL NEW WIRING AND LOW-VOLT CABLING IN BASEMENT & GARAGE IS TO BE ROUTED IN EMT.
3. LIGHTING FIXTURES TO BE LED. PROVIDE LIGHTING CONTROLS IN COMPLIANCE WITH CURRENT SEATTLE ENERGY CODE AND AS SHOWN ON PLAN.
4. FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.



1

BASEMENT & GARAGE PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"



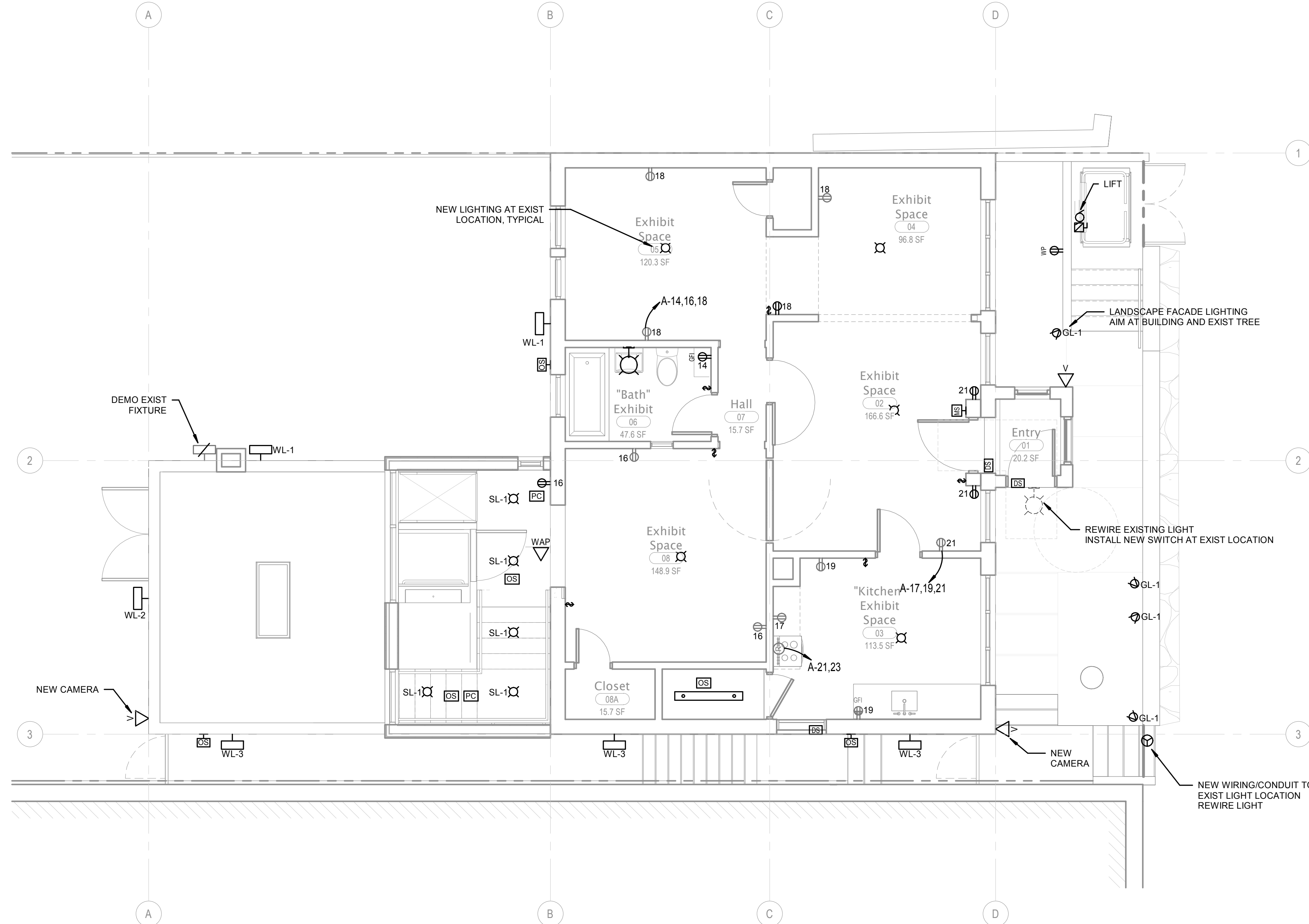
Official Stamps:

Eng Family Homestead Renovation 611 8th Ave South, Seattle, WA 98104		NOT FOR CONSTRUCTION
REVISIONS	DATE	ISRD CERTIFICATE OF APPROVAL SET
NO. DESCRIPTION		01/22/2024

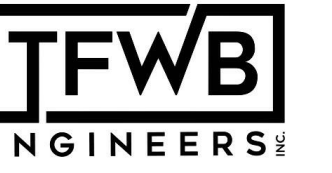
BASEMENT & GARAGE PLAN - ELECTRICAL		Project number	22013
E2.00		Date	01/22/2024
Scale 1/4" = 1'-0"		Project Manager	MF
		Drawn by	PM/KH
		Checked by	MF/PM

SHEET NOTES:

1. INTENT IS TO REPLACE EXISTING ELECTRICAL IN-PLACE WITH NEW WIRING, DEVICES AND FIXTURES. NEW ELECTRICAL DEVICES WHERE SHOWN.
2. NEW RECEPTACLES TO BE TYPE TR.
3. ALL WIRING AND CABLING IS TO BE CONCEALED IN WALLS OR CEILINGS. ACCEPTABLE TO FISH CABLING AND FLEX CONDUIT AS NEEDED; RESTORE WALLS AND CEILINGS WHERE DEMO IS NECESSARY.
4. LIGHTING FIXTURES TO BE LED. PROVIDE NEW WIRING AND CONTROLS AND SHOWN.
5. FIRE DETECTION AND ALARM SYSTEM SCOPE IS TO BE DETERMINED BASED ON AHJ OCCUPANCY DESIGNATIONS AND REQUIREMENTS. AT MINIMUM, NEW HARD-WIRED SMOKE DETECTORS ARE ANTICIPATED.



1 MAIN LEVEL PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"



Official Stamps:

Eng Family Homestead Renovation
611 8th Ave South, Seattle, WA 98104

REVISIONS	NO.	DESCRIPTION	DATE	NOT FOR CONSTRUCTION
				ISRD CERTIFICATE OF APPROVAL SET
				01/22/2024

MAIN LEVEL PLAN - ELECTRICAL

Project number	22013
Date	01/22/2024
Project Manager	MF
Drawn by	PM/KH
Checked by	Checker

E2.10

Scale: 1/4" = 1'-0"